



County Hall
Cardiff
CF10 4UW
Tel: (029) 2087 2000

Neuadd y Sir
Caerdydd
CF10 4UW
Ffôn: (029) 2087 2000

AGENDA

Committee PLANNING COMMITTEE

Date and Time of Meeting WEDNESDAY, 20 NOVEMBER 2019, 1.30 PM

Venue COMMITTEE ROOM 4 - COUNTY HALL

Membership Councillor Jones (Chair)
Councillors Lay, Ahmed, Asghar Ali, Driscoll, Gordon, Hudson,
Jacobsen, Jones-Pritchard, Keith Parry, Sattar and Stubbs

1 Apologies for Absence

2 Minutes

To approve as a correct record the minutes of the meeting held on 16 October 2019.

3 Declarations of Interest

To be made at the commencement of the agenda item in question, in accordance with the Members Code of Conduct.

4 Petitions

Petitions have been received in relation to the following applications in accordance with Committee Meeting Procedural Rule 14.2. The petitioners have been advised of their right to speak and the applicants/agents of their right to reply:

Application no 19/02126/DCH, 1 The Fairway, Cyncoed
Application no 19/02020/MNR, 29 Alexandra Road, Canton
Application no 19/01867/mNR, 6 Park Road, Whitchurch

5 Development Control Applications

a 19/01331/MJR, Lozelles, Church Road, Lisvane

b 19/02126/DCH, 1 The Fairway, Cyncoed

c 19/02020/MNR, 29 Alexandra Road, Canton

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- d 19/01917/MNR, 5A Waun Gron Road, Llandaff
- e 19/01867/MNR, 6 Park Road, Whitchurch
- 6 Applications decided by Delegated Powers - October 2019**
- 7 Urgent Items (if any)**
- 8 Date of next meeting - 18 December 2019**

Davina Fiore

Director Governance & Legal Services

Date: Thursday, 14 November 2019

Contact: Kate Rees, 029 2087 2427, krees@cardiff.gov.uk

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PLANNING COMMITTEE

16 OCTOBER 2019

Present: Councillor Jones(Chairperson)
Councillors Ahmed, Driscoll, Gordon, Hudson, Jacobsen, Jones-
Pritchard, Keith Parry and Sattar

10 : APOLOGIES FOR ABSENCE

Councillor Lay

11 : MINUTES

The minutes of the meeting held on the 18 September 2019 were signed as a correct record.

12 : DECLARATIONS OF INTEREST

None

13 : PETITIONS

Application no, 19/01426/MNR, St David's Hotel & Spa, Havannah Street
Application no, 19/01339/MNR, 238 Pantbach Road, Rhiwbina
Application no, 19/01752/MNR, Ty Newydd, Heol Goch, Pentyrch

14 : DEVELOPMENT CONTROL APPLICATIONS

The Committee considered the schedule of development control applications submitted in accordance with the Town & Country Planning Act 1990:

RESOLVED: That pursuant to this Committee's delegated powers the following development control applications be determined in accordance with the recommendations as set out in the report of the Director of Planning, Transport and Environment subject to any further amendments as detailed below and notification be given of the decisions in accordance with Section 70 of the Town & Country Planning Act 1990 or Section 16 of Section 74 of the Planning (Listed Building & Conservation Act 1990).

APPLICATIONS GRANTED

19/02214/MNR – CATHAYS

82 CATHAYS TERRACE

Ground floor rear extension, rear dormer and conversion from C4 to Sui Generis house in multiple occupation.

APPLICATIONS REFUSED

19/01339/MNR – RHIWBINA

238 PANTBACH ROAD

Demolition of part two storey and single storey buildings and construction of three storey building containing two retail units and a one bedroom flat at ground floor and three duplex apartments at first and second floor.

1. The development by virtue of its height, massing and scale would be out of keeping with other buildings in the surrounding area and detrimental to the visual character of the area, contrary to policy KP5 (i) of the Cardiff Local Development Plan.
2. The scale and massing of the development, together with its close proximity to the boundaries with neighbouring properties, would result in an unacceptable overbearing and obtrusive impact which would be detrimental to the amenities of neighbouring occupiers, contrary to policy KP5 (x) of the Cardiff Local Development Plan.
3. The development would be detrimental to the setting of the Rhiwbina Garden Village Conservation Area in that it would appear as an incongruous feature out of keeping with scale and character of existing commercial properties and dwellings in the vicinity of the site which form the setting of the conservation area, contrary to policy EN9 of the Cardiff Local Development Plan.

19/01749/MNR – CATHAYS

20 MAY STREET

Ground & First floor rear extension, rear dormer and conversion to 6 bed C4 house in multiple occupation.

19/01752/MNR – PENTYRCH

TY NEWYDD, HEOL GOCH

Erection of stable block incorporating tack room and wash room to support adjoining paddock/donkey sanctuary.

Subject to an amendment to Reason 2 to read:

'The proposal would prejudice the open nature of the land and would cause unacceptable harm to the Garth Hill and Pentyrch Ridges Special Landscape Area and would fail to fulfil any of the criteria for justification of development within a green wedge that are set out in paragraphs 3.71 to 3.74 of Planning Policy Wales contrary to Policies KP3(A) and EN3 of the Cardiff Local Development Plan 2006-2026.

19/02232/MNR – CATHAYS

5 MAY STREET

Change of use of a three bedroom (C3) dwelling into a five bedroom HMO C4 use (retrospective)

APPLICATIONS DEFERRED

19/01331/MNR – LISVANE

LOZELLES, CHURCH ROAD

Proposed construction of block of 6 self contained flats

REASON: In order for a site visit to this location to take place.

19/02126/DCH – CYNCOED

1 THE FAIRWAY

Single storey rear and two storey side extensions.

APPLICATIONS TAKEN OFF AGENDA

19/01426/MNR – BUTETOWN

ST DAVIDS HOTEL AND SPA, HAVANNAH STREET

Proposed temporary zip line development for a period of 6.5 months (30 calendar weeks) from the roof of St Davids Hotel, Havannah Street, Cardiff, CF10 5SD to land adjacent to the Norwegian Church (Waterfront Park/Britannia Park) Harbour Drive, Cardiff Bay.

15 : APPLICATIONS DECIDED BY DELEGATED POWERS - SEPTEMBER 2019

Noted

16 : URGENT ITEMS (IF ANY)

None

17 : DATE OF NEXT MEETING - 20 NOVEMBER 2019

Noted

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LOCAL MEMBER OBJECTION

COMMITTEE DATE: 20/11/2019

APPLICATION No. **19/01331/MJR** APPLICATION DATE: 09/05/2019ED: **LISVANE**

APP: TYPE: Full Planning Permission

APPLICANT: PHG CAPITAL

LOCATION: LOZELLES, CHURCH ROAD, LISVANE, CARDIFF, CF14 0SJ

PROPOSAL: PROPOSED CONSTRUCTION OF BLAOCK OF 6 SELF
CONTAINED FLATS

RECOMMENDATION 1 : That, subject to relevant parties entering into a binding planning obligation in agreement with the Council under **SECTION 106** of the Town and Country Planning Act 1990, within 6 months of the date of this resolution unless otherwise agreed by the Council in writing, in respect of matters detailed in paragraph 9.0 of this report, planning permission be **GRANTED** subject to the following conditions:

1. C01 Statutory Time Limit
2. The development shall be carried out in accordance with the following approved plans:
 PL(90) 01 Proposed Site Plan Rev C;
 2907002 Rev H Landscape Plan
 PL(00)21 Plot A Plans Ground floor Rev A;
 PL(00)22 Plot A Plans First floor Rev A;
 PL(00)23 Plot A Plans- Second floor Rev A;
 PL(00)24 Plot A Elevation Sheet 1 Rev A;
 PL(00)25 Plot A Elevations Sheet 2 Rev A;
 Reason: To ensure satisfactory completion of the development and for the avoidance of doubt in line with the aims of Planning Policy Wales to promote an efficient planning system.
3. No development shall take place until samples of the external finishing materials have been submitted to and approved by the Local Planning Authority. The development shall be carried out in accordance with the approved details.
 Reason: To ensure that the finished appearance of the development is in keeping with the area.
4. Prior to beneficial use of the development hereby approved details showing the provision of cycle parking spaces have been submitted to and approved in writing by the local planning authority. The approved details shall be implemented prior to the development being put into beneficial use. Thereafter the cycle parking spaces shall be maintained

and shall not be used for any other purpose.

Reason: To ensure that adequate provision is made for the secure parking of cycles in accordance with Policy T5 of the adopted Cardiff Local Development Plan (2006-2026)

5. The rear Juliet balconies, as shown on plan number PL(05) 25 Rev A hereby approved shall not project more than 300mm from the rear wall.
Reason: For the avoidance of doubt

RECOMMENDATION 2 : To protect the amenities of occupiers of other premises in the vicinity attention is drawn to the provisions of Section 60 of the Control of Pollution Act 1974 in relation to the control of noise from demolition and construction activities. Further to this the applicant is advised that no noise audible outside the site boundary adjacent to the curtilage of residential property shall be created by construction activities in respect of the implementation of this consent outside the hours of 0800-1800 hours Mondays to Fridays and 0800 - 1300 hours on Saturdays or at any time on Sunday or public holidays. The applicant is also advised to seek approval for any proposed piling operations.

RECOMMENDATION 3 : On the 7th January 2019 Schedule 3 of the Flood and Water Management Act 2010 was enacted. This effects all new developments where the construction area is of 100m² or more. Cardiff Council is aware that your application for planning permission was validated after the recent legislative change in which Schedule 3 of the Flood and Water Management Act was enacted and therefore may be subject to surface water drainage proposals under the SAB application process.

It is recommended that the developer engage in consultation with the Cardiff Council SAB team, as the determining SuDS Approval Body (SAB), in relation to their proposals for SuDS features. Cardiff Council are aware that this is new legislation and as such we are offering a free pre-application service for the first year. To arrange discussion regarding this please contact SAB@cardiff.gov.uk
In the meantime if you require further information please review our website: <https://www.cardiff.gov.uk/ENG/resident/planning-and-suds/suds-approval-body/>

Or, alternatively you can review the legislation set by Welsh Government here: <https://gweddill.gov.wales/topics/environmentcountryside/epq/flooding/drainage/>

1. **DESCRIPTION OF PROPOSED DEVELOPMENT**

- 1.1 Full Planning permission is sought for an extension to Block A to allow 3 additional flats. The extension would have a foot print 6 metres x 13 metres. The additional flats would be configured as follows:

- Ground floor: 1 x 1 bedroom;
- First floor 1 x 2 bedroomed;
- Second floor 1 x 2 bedroomed

The scale, form and design replicates the approved block A

- 1.2 The plans have been amended to remove the rear balconies and an updated landscape plan has been submitted to accord with the Council's Tree Officers comment.
- 1.3 **This report was presented to the October Planning Committee, where it was deferred for a site visit that was undertaken on 11th November, 2019.**

2. **DESCRIPTION OF SITE**

- 2.1 The site is a 0.38 ha corner plot located on the Church Road/ Heol-y-Delyn Junction. The site currently being redeveloped in line with the approval for 2 houses and 11 flats. Along the Church Road boundary are two mature purple beech trees that are protected by Tree Preservation Orders (City and County of Cardiff (Plas-y-Delyn Area, Lisvane) TPO 2009)
- 2.2 The property has a vehicular access onto Church Road
- 2.3 The eastern boundary of the site adjoins Church Road which is a single carriageway highway approximately 5 metres wide with street lighting but no footways. There are double yellow lines on both sides of the road but no white lining. A 20 mph speed limit is in enforce, together with speed tables, at the junctions with Heol y Delyn and Cefn Mably Road.
- 2.4 Heol y Delyn is lit and, except for a short distance between Church Road and the access to Lozelles, there are footways on both sides (the footway linking Heol y Delyn and Church road is currently being built as part of the approved scheme).
- 2.5 The western boundary of the application site adjoins the side boundary of an extended semi-detached house known as Helfa which fronts onto Heol-y-Delyn. To the north of the application site, on the opposite side of Heol-y-Delyn, lies Lisvane Library/Community Centre.
- 2.6 The site is not located within a Conservation Area or a defined flood risk zone.

3. **SITE HISTORY**

- 3.1 15/02618/MNR- outline permission for 1 detached house- approved;
- 3.2 15/0583/MNR-outline permission for two detached houses- approved.
- 3.3 16/02752/MJR- proposed residential development comprising 2 houses and 11 self-contained apartments with new access road, parking, cycle, refuse storage and amenity facilities- approved.

4. **POLICY FRAMEWORK**

- 4.1 Planning Policy Wales Ed. 10;

- 4.2 Technical Advice Notes (TAN):
5 (Nature Conservation and Planning);
12 (Design);
18 (Transportation).
- 4.3 The Cardiff Local Development Plan 2006-2026 provides the local planning policy framework. Relevant policies include:
- KP5: Good Quality and Sustainable Design;
KP6: New Infrastructure;
KP7: Planning Obligations;
KP8: Sustainable Transport;
KP14: Healthy Living;
KP15: Climate Change;
H3: Affordable Housing;
T1: Walking and Cycling
T5: Managing Transport Impacts;
T6: Impact on Transport Networks and services;
EN7: Priority Habitats and Species;
EN 8: Trees, Woodlands and Hedgerows;
EN10: Water Sensitive Design;
EN13: Air, Noise, Light Pollution and Land Contamination.
C1: Community Safety and Creating Safe Environment
C5: Provision for Open Space, Outdoor Recreation, Children's Play and Sport
W2 Provision of Waste Management Facilities in Development
- 4.4 Further advice is provided in the following adopted Supplementary Planning Guidance documents:
Planning Obligations (January 2017);
Infill sites (November 2017);
Green Infrastructure SPG
Waste Collection & storage facilities (October 2016)

5. **INTERNAL CONSULTEE RESPONSES**

- 5.1 The Operational Manager (Transportation): Having reviewed the updated layout the Transportation section make the following comments:
It appears that an additional 3 car parking spaces are proposed on site compared to the consented scheme [01 G] (2 perpendicular to Church Rd in the SE of the site, and 1 in the parking row north-west of Block B). It is assumed that the 'grey space' shown on the rev G plan on entrance to the site is not actually a parking space. The proposed additional car parking spaces are therefore within the maximum standards set in the SPG.

The consented scheme appears to show 20 cycle parking spaces in total for Plot A/B. The condition related to cycle parking does not require additional details to be submitted. Five cycle spaces are required as a result of the additional Plot A development (5 bedrooms) and thus cycle parking for 25 spaces in total is required. Two areas for cycle parking are shown on the revised plans, 5 stands between Plot A and B, and 4 stands to the north-west of

Plot B.

It is apparent that there are currently some parking problems on the south side of Heol y Delyn adjacent to Llwyn-y-Pia Road. In order to ensure that the additional development does not result in ongoing parking issues, it would be prudent for a Section 106 contribution to be made towards a future survey of parking conditions on Heol y Delyn/Llwyn-y-Pia Rd/Church Rd and the introduction of parking restrictions via a TRO process, as deemed necessary. A sum of £5000 would be required for this.

- 5.2 The Operational Manager (Drainage) has been consulted and states that surface water drainage for this block will require SAB approval.
- 5.3 The Housing Strategy Manager states that, given the scale and nature of development proposed, the existing contribution (planning reference 16/02752/MJR) would also cover this proposal.
- 5.4 The Parks Officer: raises no objection .
- 5.5 Waste Management Officer raises no objection.
- 5.6 Trees Officer: No objection subject to conditions relating to retaining landscaping

6. **EXTERNAL CONSULTEE RESPONSES**

- 6.1 Welsh Water: No objection subject to drainage condition

7. **REPRESENTATIONS**

- 7.1 Neighbouring properties have been notified with additional publicity undertaken by site and local press notices. A total of 14 letters of representation have been received. All object on the following grounds:
 - The proposal is already causing problems with vehicles parking in a dangerous manner around the area and that is even before it is occupied by the future owners;
 - The proposal is an overdevelopment of the site and will result in the loss of the little green space on site;
 - Given the lack of a regular bus service the demand for car use is greater in this area and the proposal fails to accommodate this
- 7.2 Councillor Walker: Objects to this application on the following grounds:
 - The site received permission for a substantial development and this further application is a step too far and would lead to an overdeveloped site. It would also be unneighbourly in that traffic will increase as additional residents and their visitors access the site.
 - Church Rd is already a busy and narrow highway with a high level of pedestrian movement.

- There is already limited parking available for the flats and the additional parking pressure could not reasonably be accommodated, in my view.
- If officers be minded to approve, I would want this to go to Planning Committee where I can express my objections to committee members.

7.3 Lisvane Community Council:

Lisvane Community Council (LCC) is disappointed that there is a further proposed variation to the existing planning consent and wishes to strongly object to the above planning application for the following reasons:

- LCC objected to the original planning application (Nov 2016) for 2 houses and 14 flats for the reasons documented in its Letter of Objection dated 23 December 2016. This was in addition to a large number of objections from residents along with a petition signed by 111 people and also an objection from the local Member of Parliament. Subsequently the developer amended the planning application to 3 fewer flats following which the amended application was approved. This latest planning application seeks to reinstate those 3 flats which is grossly insensitive to the extent of the original level of concern expressed by the community
- The plot would be too densely populated, cramped and overdeveloped. It would become completely out of character with the essentially rural nature of the immediate surrounding area. The latest plans involve moving the bins and bicycle racks to the boundary adjoining Lisvane Crown Precinct almost certainly at the expense of the hedge (and not an attractive view out of the side window of the Plot A flats).
- The current site plan is showing 25 parking spaces for Plots A, B and C with 4 for the 5 bedroom house (Plot D). A separate planning application (19/01432/MNR) has just been submitted which reduces the Plot D parking spaces by 1 (as a result of turning the garage into a games room). The total number of spaces would then be 28 and there are appears to be no plans to increase this to cope with the additional 3 flats. This site would need the maximum number of spaces (37 according to Cardiff County Council's Supplementary Planning Guidance Access Circulation and Parking Standards - 2010). This is a key issue as parking at Crown Precinct is intended for users of the retail businesses there, the Black Griffin PH has a car park for use by its customers, St Denys Church has no parking facilities and parking at Lisvane Old School car park is for users of the school only. There is no on-street parking on Church Road so all residents of Lozelles and their visitors realistically will need to park at the Lozelles site.
- LCC remains concerned about the level of traffic which the site will generate which would be made worse by the additional 3 flats. The Design Statement gives a false impression of the adequacy of public transport. This is misleading as (a) the train stations at Lisvane and Llanishen are too far away to walk to and (b) the bus service comprises of one bus 9 times a day with up to 2 hour intervals and nothing after 7.30pm. There is no bus service on Sundays. Consequently, most if not all of the Lozelles residents and their visitors will almost certainly be using their cars.

8. **ANALYSIS**

8.1 The key material considerations in the determination of this application are considered to be : whether the proposal is overdevelopment of the site; whether the proposal out of character with the area; parking provision and highway safety; the impact upon neighbouring properties; and the impact upon the protected trees and protected species.

8.2 **Overdevelopment of the site**

Concern has been raised that the additional 3 units would result in an overdevelopment of the site that would result in insufficient parking provision, amenity space and a cramped form of development. The previously approved scheme was altered from 14 flats to 11 as the an acceptable separation distance development proposed, at that time created 3 individual blocks, which resulted in that result would have created a dominant terrace, contrary to policy. The proposal before Committee retains the two blocks with the separation distance between them reduced from 17 to 11 metres. The proposal would still provide a green area and cycle/bin provision in an acceptable location. It is considered that the space between and around the buildings and the level of amenity space would still accord with national and local design policies ensuring that the proposal would not result in an overdevelopment of the site.

8.4 **Out of Character with the Area**

National Planning Policy seeks good design/placemaking and this is reflected in the Council's adopted Local Development Plan, where Policy KP5 requires all new development to be of a high quality, sustainable design and make a positive contribution to the creation of distinctive communities, places and spaces. Whilst the application is for an extension to Block A, the application must be considered in the context of the overall development as well. Further detailed guidance is provided within the approved Infill Design Guide SPG (January, 2017).

The character of the immediate area is formed by predominantly two-storey detached and semi-detached housing with pitched roofs within relatively large plots; however some substantial 2.5 storey housing does exist within the vicinity. The site is within what is considered to be the traditional core of the village where varying building scales, positioning, height and uses create an area of mixed character.

The proposal is for an extension to the consented scheme and is of a scale, design and use of materials that would accord with the design principles that have been approved on this site. The creation of an additional bay would balance this block with that of Block B (a four bay block) and, when read in the context of the overall design of this site, would result in a form of development that would not undermine the character of the approved scheme or the wider area.

8.5 **Impact upon the Listed Church**

Given the overall development that is being built on site, the proposed extension would not given its scale, siting and design result in an development would cause harm to the character or sitting of the listed church

8.6 **Parking/Highway safety**

The proposal would result in an additional 3 flats from the approved scheme, these additional units have been accommodated with an additional 3 parking spaces from the approved scheme. The Council's Transportation Officer confirms that the car parking provision accords with policy. However, the cycle parking provision has not increased in accordance with policy but can be conditioned to ensure compliance.

The concern over inconsiderate parking on the corner of Heol-y-Delyn/ Church Road is noted. A financial contribution for surveys and any necessary traffic regulations orders to allow for double yellow lines has been secured as part of this application, as a result the potential for vehicles to cause an obstruction from the development has been addressed.

8.7 **Impact upon Neighbouring Properties**

Both National Planning Policy, the Council's design policies and SPGs seek development to be designed so that they do not create an adverse impact upon the amenity and privacy of neighbouring occupiers.

The proposed extension would be sited and designed to accord with the Council's minimum privacy standards. The separation would align with the approved scheme and would be of a similar scale to the approved Block A. Given the above, it is considered that the proposal would not represent an overbearing or unneighbourly form of development that would harm the amenities of the adjoining neighbours to such an extent that refusal is warranted. In forming this view, consideration has been given to the existing ground levels, the separation of the adjoining buildings and the siting of these property's windows.

8.8 **Impact upon the Protected Trees/Landscaping**

Along the eastern (Church Road) boundary are two protected Copper Beech Trees which remain unaffected by this proposal

In terms of the overall landscaping strategy for the site differs slightly to the approved scheme, to accommodate the extension, but it is considered that the proposal would retain those elements of the approved landscaping scheme that are important. The Tree Officer has confirmed that the amended landscaping scheme is, on balance, acceptable.

8.9 **Drainage**

The comments from Welsh Water are noted and whilst the proposal is for a replan of block A to create 3 additional units, given the minor nature of the addition it is considered that the additional drainage can be accommodated within the approved drainage scheme. It is also noted that the replan of this block may require separate drainage approval (SAB) and this will be communicated to the applicant by an informative attached to this permission, if approved (see recommendation 2 above).

8.10 **Other matters not assessed above**

The planning system regulates in the public interest. The planning system does not exist to protect the private interests of one person against the activities of another, therefore matters of loss of land value are not a material consideration.

9. **PLANNING OBLIGATIONS**

National Policy and CIL regulations outline the legal requirements for a valid Planning obligation. The Council's approved Planning Obligations SPG provides further policy guidance. The following financial contributions are required:

£5,000 towards surveys and any necessary TRO/ double yellow lines

Having regard to policy and legal requirements outlined above it is considered that the requests meet the necessary tests and policy requirements. The agent has confirmed that his client is willing to enter into an agreement to secure these contributions

10. **CONCLUSION**

The proposal to extend block A would not have a significant adverse impact upon the approved scheme in regards to its impact upon future residents, adjoining properties or highways matters. The proposed scale, massing and design of the extension would accord with national and local policy objectives and does have regard to the character of the area and the overall design philosophy for the site and surrounding area. For the reasons outlined above, planning permission is recommended for approval subject to conditions.

11. **LEGAL CONSIDERATIONS**

11.1 ***Crime and Disorder Act 1998***

Section 17(1) of the Crime and Disorder Act 1998 imposes a duty on the Local Authority to exercise its various functions with due regard to the likely effect of the exercise of those functions on, and the need to do all that it reasonably can to prevent, crime and disorder in its area. This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable increase in crime and disorder as a result of the proposed

decision.

11.2 ***Equality Act 2010***

The Equality Act 2010 identifies a number of 'protected characteristics', namely age; disability; gender reassignment; pregnancy and maternity; race; religion or belief; sex; sexual orientation; marriage and civil partnership. Having due regard to advancing equality involves:

removing or minimising disadvantages suffered by people due to their protected characteristics; taking steps to meet the needs of people from protected groups where these differ from the need of other people; and encouraging people from protected groups to participate in public life or in other activities where their participation is disproportionately low.

The above duty has been given due consideration in the determination of this application.

It is considered that there would be no significant or unacceptable impact upon persons who share a protected characteristic, over and above any other person, as a result of the proposed decision.

11.3 ***Planning (Wales) Act 2015 (Welsh language)***

Section 31 of the Act clarifies that impacts on the Welsh language may be a consideration when taking decisions on applications for planning permission so far as it is material to the application. This duty has been given due consideration in the determination of this application. It is considered that there would be no material effect upon the use of the Welsh language in Cardiff as a result of the proposed decision.

11.4 ***Wellbeing of Future Generations (Wales) Act 2015***

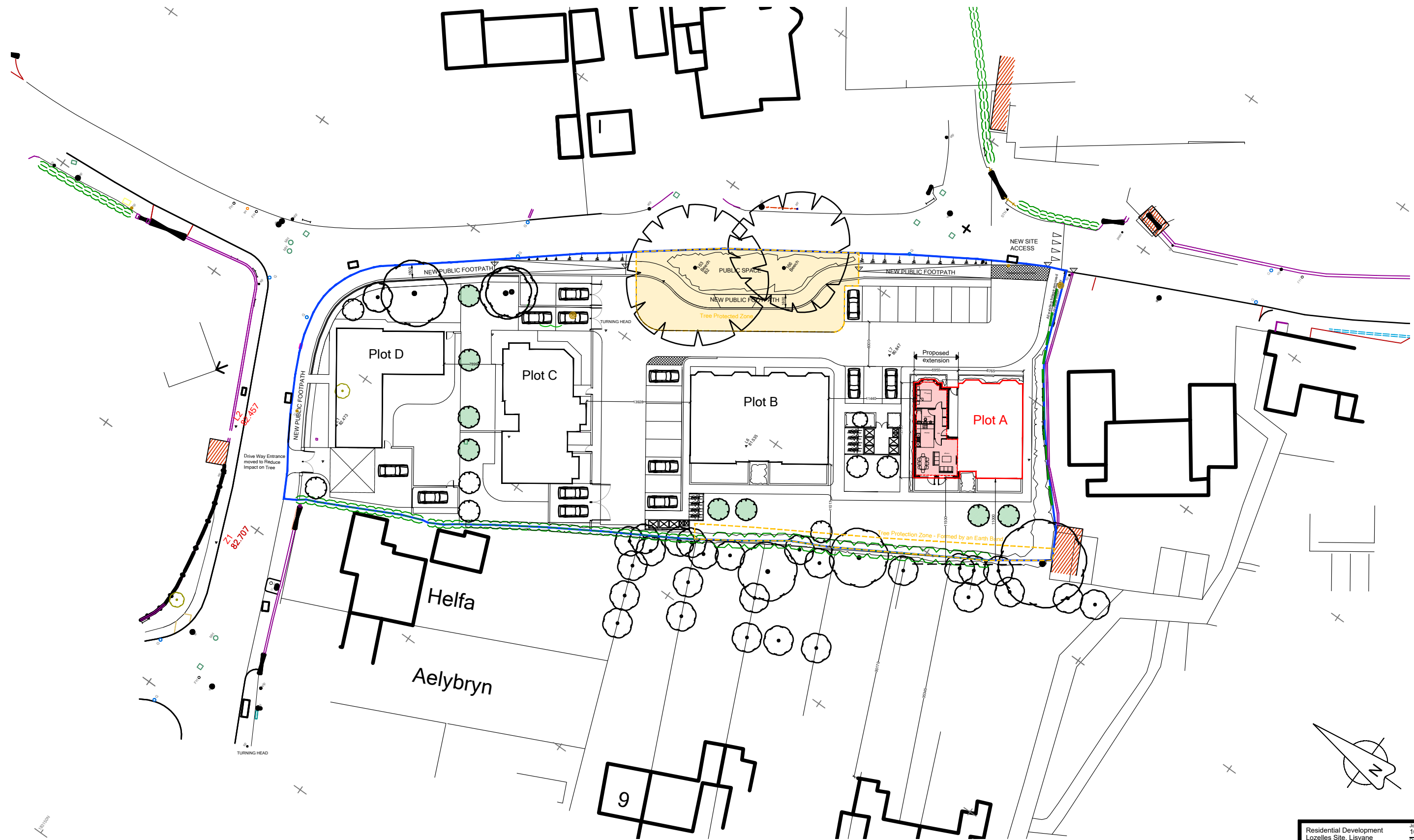
Section 3 of the Act imposes a duty on public bodies to carry out sustainable development in accordance with the sustainable development principle to act in a manner which seeks to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs (section 5). This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable impact upon the achievement of wellbeing objectives as a result of the proposed decision.

11.5 ***Biodiversity and Resilience of Ecosystems Duty***

These comments contribute to this Authority's discharge of its duties under Section 6 of the Environment (Wales) Act 2016. This duty is that the LPA must seek to maintain and enhance biodiversity in the exercise of its functions, and in so doing promote the resilience of ecosystems, so far as is consistent with the proper exercise of those functions. In complying with this duty the LPA has taken account of the resilience of ecosystems, in particular the diversity between and within ecosystems; the connections between and within ecosystems; the scale of ecosystems; the condition of ecosystems and the adaptability of ecosystems.

Date	Drawn	Check	Description
09/05/19	WS	---	Red and blue line boundaries amended.
09/06/19	WS	---	Scale Revised on Drawing
20/09/19	WS	---	Traditional balconies replaced by Juliet balconies.

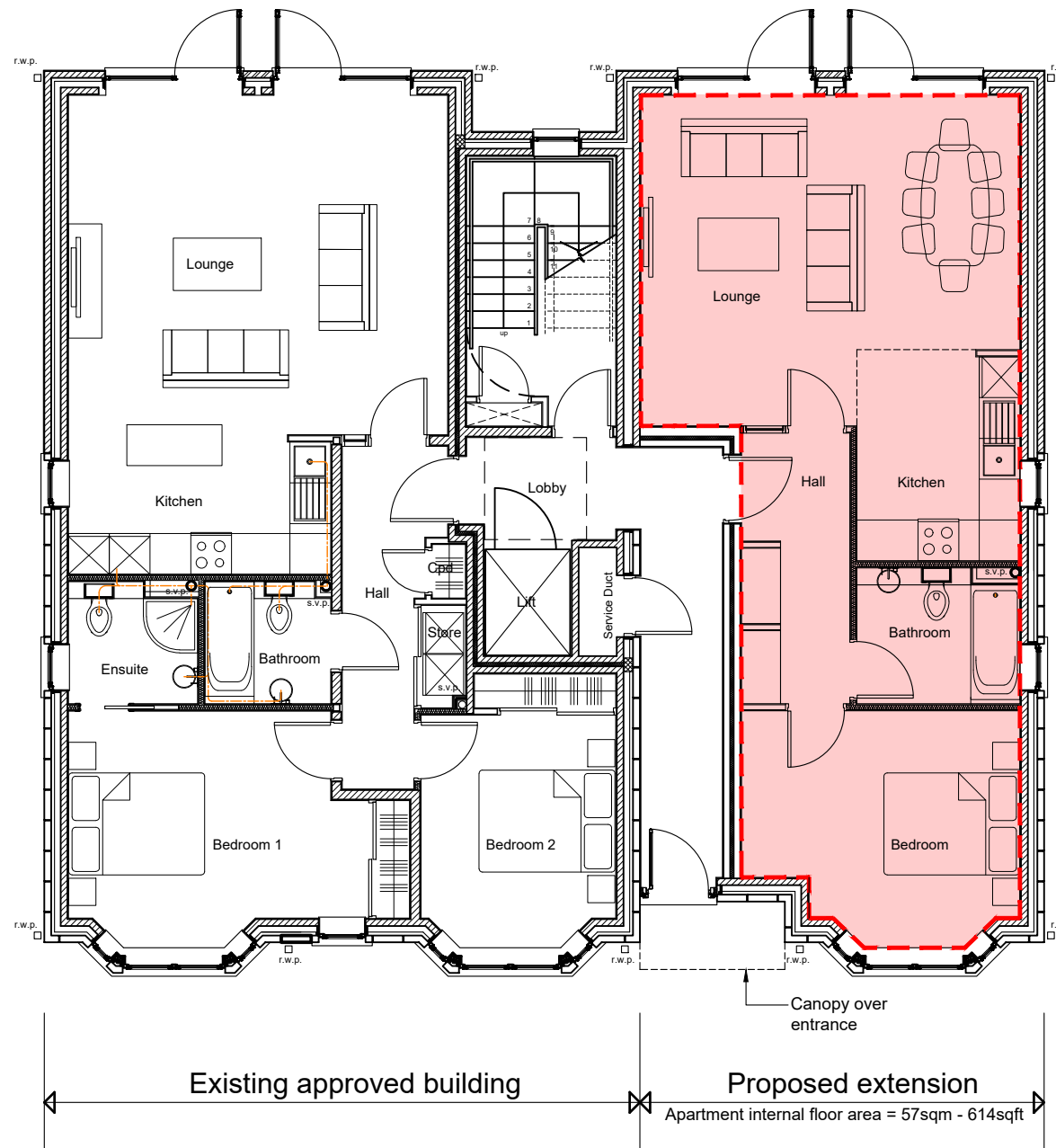
Rev.
A
B
C



Residential Development Lozelles Site, Lisvane	Job No: 16_047	Rev: C
Title: Proposed Extension To Plot A - Site Plan	Drawn: WS	Scale: 1:250@A1 & 500@A3
Date: 20/09/19	Check: ---	--- ---

CJ Architects · Town planners
Environmental & Urban design

Unit 1A, Compass Business Park,
Pacific Road, Cardiff, CF24 6HL. www.cjarchitects.co.uk
tel: 031 29452100



Ground Floor Plan

Residential Development Lozelles Site, Lisvane		Job No. 16_047
Title Plot A - Proposed Extension - Ground Floor Plan		Dwg No. Rev. PL(00)21 A
Date 02/19	Drawn	Scale 1:100 @A3
 C² Architects		Town planners Environmental & Urban design
<small>Unit 1A, Compass Business Park, Pacific Road, Cardiff, CF24 5HL</small>		<small>www.c2architects.co.uk tel: 029 20452100</small>



First Floor Plan

Residential Development Lozelles Site, Lisvane		Job No. 16_047
Title Plot A - Proposed Extension - First Floor Plan		Dwg No. Rev. PL(00)22 A
Date 02/19	Drawn	Scale 1:100 @A3
 Architects · Town planners Environmental & Urban design		
Unit 1A, Compass Business Park, Pacific Road, Cardiff, CF24 5HL		www.c2architects.co.uk tel: 029 20452100



Second Floor Plan

Residential Development Lozelles Site, Lisvane		Job No. 16_047
Title Plot A - Proposed Extension - Second Floor Plan		Dwg No. Rev. PL(00)23 A
Date 02/19	Drawn	Scale 1:100 @A3
 Architects Town planners Environmental & Urban design		
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Front Elevation

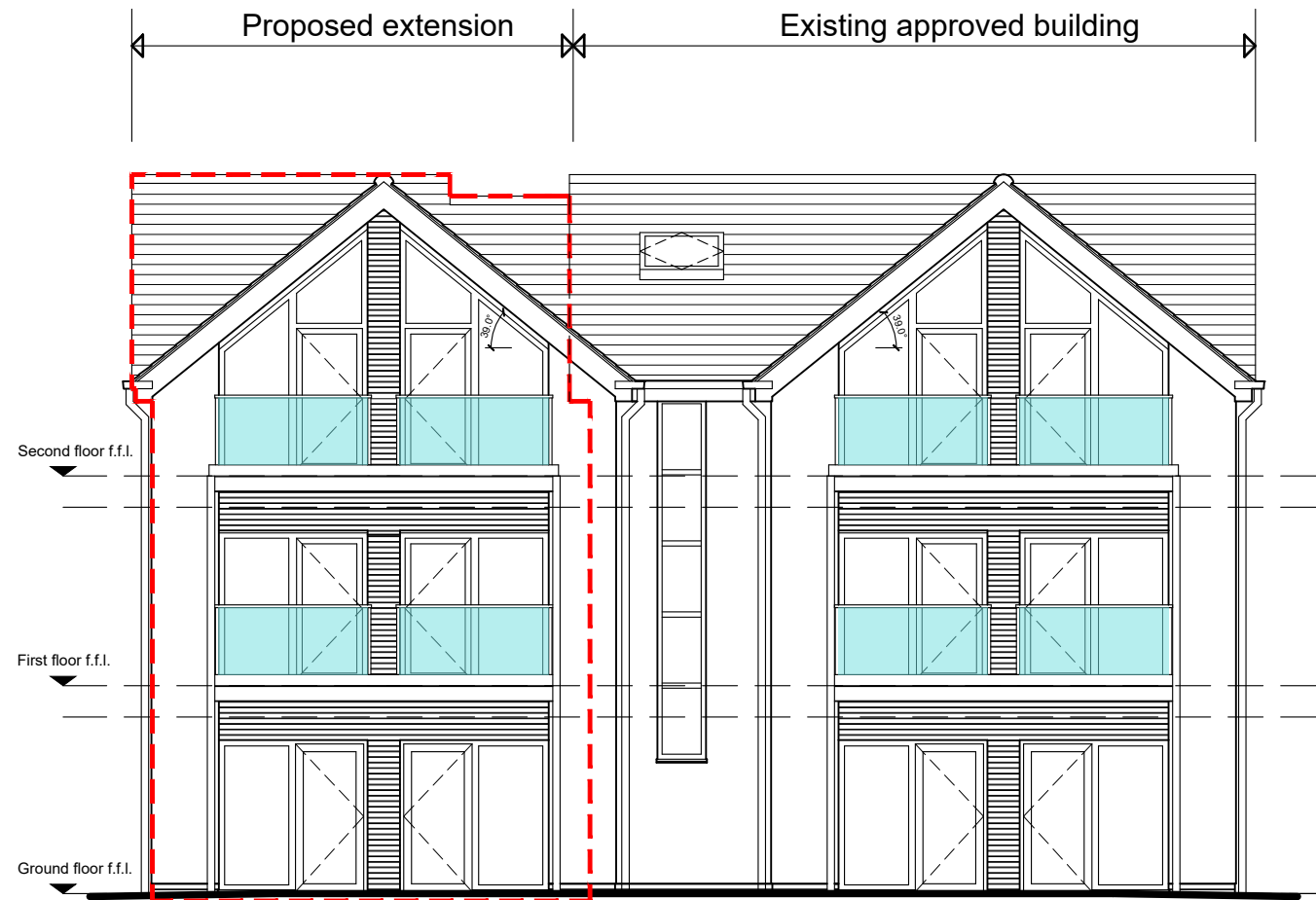


Side Elevation (Left Side)

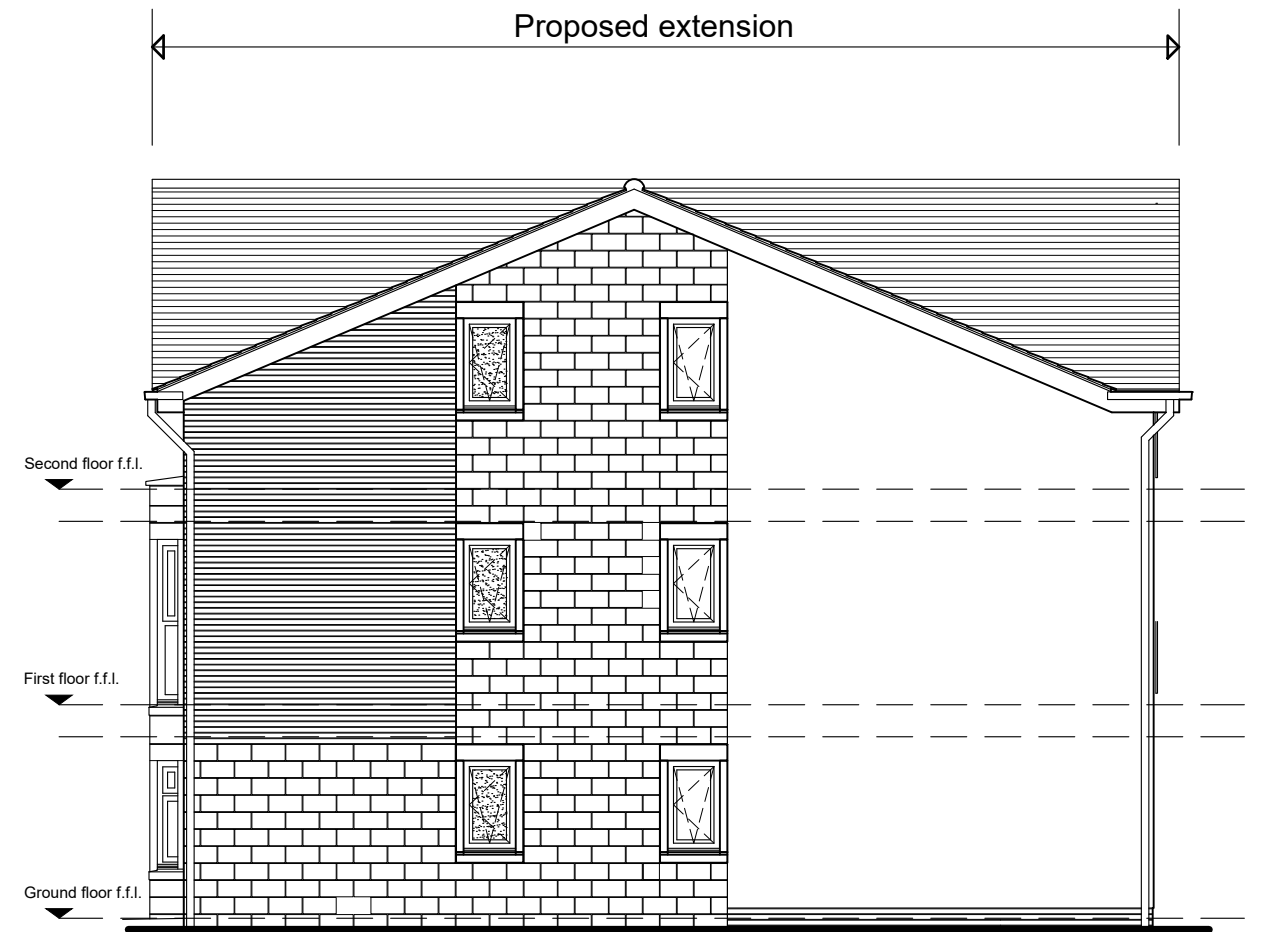
Residential Development Lozelles Site, Lisvane		Job No. 16_047
Title Plot A - Proposed Extension - Elevations sheet 1		Dwg No. Rev. PL(00)24 A
Date 02/19	Drawn	Scale 1:100 @A3

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Rear Elevation



Side Elevation (Right side)

Residential Development Lozelles Site, Lisvane		Job No. 16_047	Rev. A
Title Plot A - Proposed Extension - Elevations sheet 2		Dwg No. PL(00)25	
Date 02/19	Drawn	Scale 1:100 @A3	
 C² Architects		Town planners Environmental & Urban design	
<small>Unit 1A, Compass Business Park, Pacific Road, Cardiff, CF24 6HL</small>		<small>www.c2architects.co.uk tel: 029 20452100</small>	

Proposed Landscape Specification

1.0 WORKMANSHIP – GENERAL

All work must be to the satisfaction of the supervising Landscape Architect.

1.1 SITE CLEARANCE

Where the site has not been wholly cleared, the Contractor shall cut, rake up and remove from site all vegetation excepting those existing plants to be retained as shown on the drawings. Roots shall be grubbed up. All rubbish and hardcore shall be removed from site to tip at the Contractors expense. Reference should be made to the Tree Protection Plan.

1.2 HORTICULTURAL SOIL RESOURCE REPORT

This soft landscaping scheme should be read in conjunction with the Horticultural Soil Resource Report prepared in accordance with the 2009 DEFRA Construction Code of Practice for the Sustainable Use of Soils on Construction Sites. Refer to the report for details on available soil resource, soil analysis, soil suitability, and soil storage, placement and pre-planting.

1.3 EARTH FILL AND GRADING

When this is to form part of the works, the Contractor must firstly strip all site topsoil from the area to be filled or graded, making sure that all the existing vegetation and stones over 50mm have been removed and carted off site. Store the topsoil in uncompacted heaps not over 1.25m in height, taking care that it is not mixed with subsoil or deleterious material.

1.4 SUBSOILING AND TOPSOILING

All Topsoil to conform to BS3882:2015, all subsoil to conform to BS 8601:2013.

Soil profiles for areas of new planting:

- Grass: 150mm depth topsoil over 150mm depth subsoil
- Shrubs: 300mm depth topsoil over 300mm depth subsoil
- Trees: 300mm depth topsoil over 600mm depth subsoil

Any levels to be made up beneath topsoil depths shall be made up by using sub-soil fill. Topsoil and sub-soil shall each be deposited in separate spoil heaps and strict precautions are essential to prevent loss or admixture of topsoil with sub-soil. The Contractor is to take all due care in the course of the earth moving work, to ensure that all deposited material is evenly consolidated and especially that any lumps of soil are completely broken up in the course of the grading work. A suitable period is, if possible, to be permitted to elapse subsequent to soil being placed to allow for major settlement prior to finishing, grading, grassing and planting.

1.5 TREE SUPPLY, HANDLING AND PLANTING

Shall be accordance with BS5454:2014 (*Trees: from nursery to independence in the landscape - recommendations*). See Tree Pit Section for planting. All tree planting, including containerised stock, shall be carried out between November and March but not during periods of frost, drought or cold drying winds. At the time of planting and at such times as directed, all plants shall be thoroughly watered. Staking only required for standards.

1.6 PROTECTION OF SUPPLIED PLANTS

Plants shall be protected from root exposure and desiccation at all times, bare roots shall be heeled in properly and protected during the planting operation. Containerised plants shall be adequately watered whilst awaiting planting. Seeds shall be protected from harmful temperature/moisture fluctuations and vermin.

1.7 SHRUB CULTIVATION, PREPARATION AND PLANTING

All shrub planting, including containerised stock, shall be carried out between November and March but not during periods of frost, drought or cold drying winds. At the time of planting and at such times as directed, all plants shall be thoroughly watered. Container grown plants should be thoroughly soaked prior to removing the container. Unsuitable plants and materials, rejected by the Landscape Architect, shall be cleared from site and replaced with satisfactory goods at the Contractors expense. The whole of the areas to be shrub planted, as shown on the drawings, are to be thoroughly cultivated to a fine tilth by hand or machine, where appropriate and broken up to not less than 300mm deep and thoroughly cleared of all extraneous matter. The Contractor is to allow for the removal from Site of all rubbish, stones and weed growth. Fill depressions in ground surface with topsoil and lightly compact in 150mm layers until surface is level with surface of surrounding ground. Prior to planting, fork in a 50mm layer of composted bark, composted garden waste or mushroom compost. Bring the soil to an even tilth and necessary firmness.

1.8 SHRUB PLANTING

Beech hedging to be notch planted, care taken to avoid damage to existing roots. All other shrub planting: dig holes to adequate size and depth to take rootball or root system. Make sure that the root system is not damaged in any way and that the plant is at the same depth as it was at the nursery. Backfill is to be well worked in around the roots and properly firmed in. Containerised plants shall be thoroughly soaked before removal from containers and planting. Individual planting positions, shown on the drawing, shall be prepared to the same standards as borders. Allow a pit not less than 450mm diameter increased as necessary to accommodate spread out root systems or rootballs so that the pit diameter exceeds the root spread by 300mm overall or 600mm for trees.

1.9 BARK MULCH After planting spread bark mulch to a depth of 75mm over all planted areas. Mulch shall be graded softwood bark flakes. Nominal particle size – as measured using BS sieving techniques – shall be 10-40mm with no more than 15% below 10mm. Material consisting largely of long thin particles will not be accepted. The bark shall have been removed from the parent timber and matured for a minimum of four months prior to application as mulch. Combined timber/sawdust/shaving content shall be no more than 5%. The pH shall be between 4 and 7. Available manganese content shall be no greater than 35 PPM. It shall be free flowing, pest, disease and weed free. The Contractor shall supply a small representative quantity to the Landscape Architect for approval. All mulch used must be of equal quality as the approved sample. The Contractor shall keep the initial load for comparison. The quality must be maintained throughout and any delivery below the standard of the approved sample will be rejected and must be carried away at the Contractors expense, as must any surplus mulch. When completed ensure that the mulch is not spread over paving or other hard surfaces.

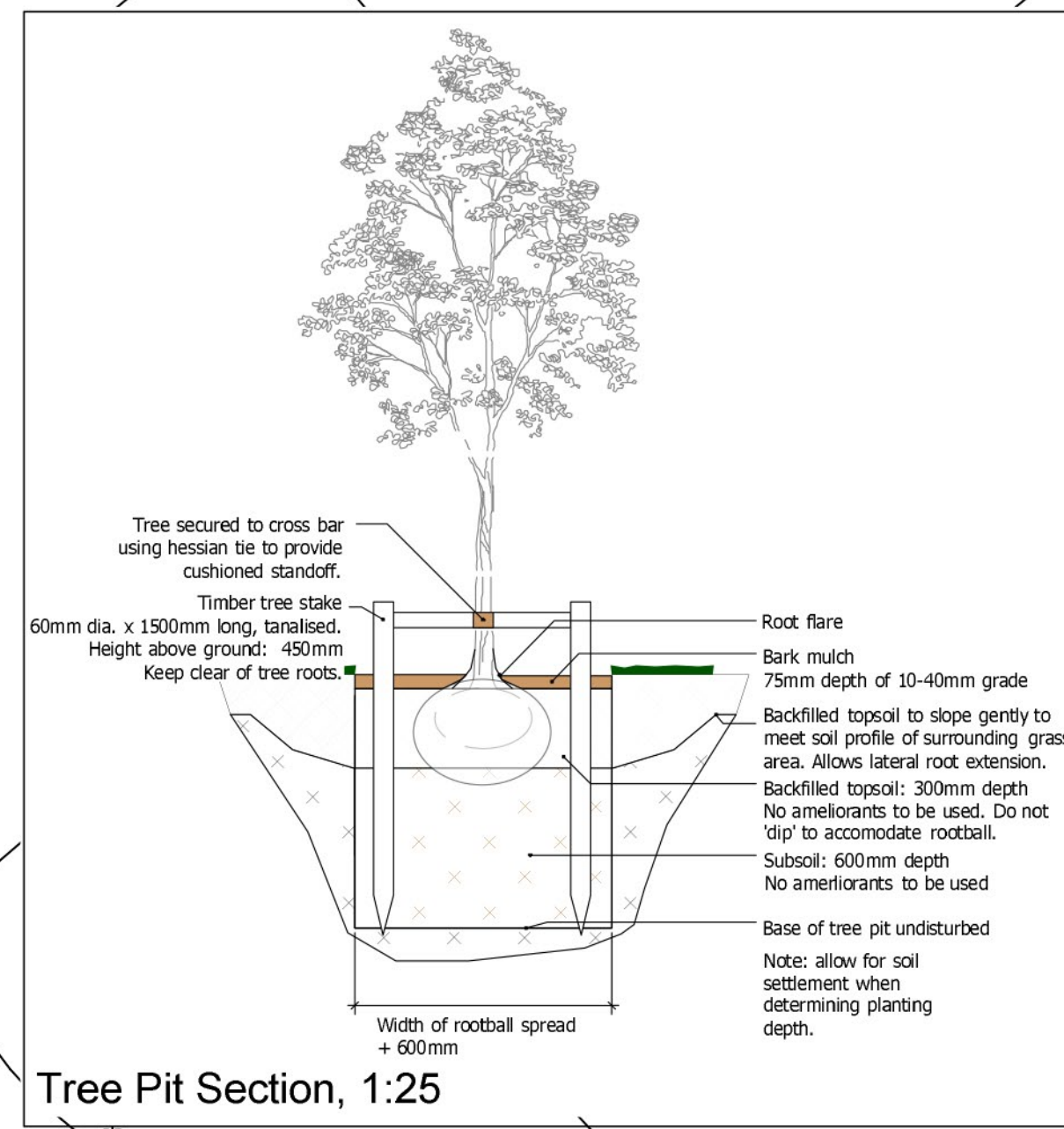
1.10 LAWN SEEDING/TURFING The Contractor shall carry out seeding/turfing and maintenance of seeded areas in accordance with the seed/turf supplier's guidance. Areas for seeding/turfing should be on firm but not compacted topsoil of minimum 150mm depth that has been broken up to full depth (except within in Root Protection Areas). The surface should be reduced to a fine tilth and areas to be seeded/turfed should be free of weeds. Surface stones exceeding 10mm should be removed prior to seeding/turfing.

1.11 BIOSECURITY All plants to be UK propagated/grown. Clerk of Works to inspect plant documentation at delivery to site to confirm UK provenance.

1.12 ADDITIONAL NOTES

Formative pruning of young trees to accord with BS3998:2010 (*Tree works - Recommendations*). Tree ties and stakes: Ties and staking to be inspected quarterly and adjusted as required to avoid damage to tree. Ties and stakes to be completely removed after 12 months. Mulched areas: inspect and top-up mulch areas annually, as per 1.9. Watering during 2 years establishment period: as required to ensure thriving, notably during dry spells and in summer. Hedging: trim annually to batter during autumn and outside of breeding bird season (i.e. outside February to August). Remove arisings.

N.B. No peat to be used in the preparation or planting.



notes:

- All dimensions to be checked and confirmed onsite prior to any works.
- Do not scale off this drawing.
- Any errors, omissions or discrepancies are to be brought to the attention of Lingard Styles immediately.

key:

- Retained Trees
- Proposed Trees
- Native Hedge
- Ornamental Shrub Mix
- Groundcover planting where required
- Turf / Seeded Lawn where required
- Turf: Rowlan Medallion or similar approved
- Seed: Geminal Seed Houses A19 All-Purpose Landscaping Mix sown at 50g/m2
- Shade tolerant grass: Geminal Seed Houses A6(Supreme Shade) at 40g/m2
- Block Paving
- Fence 1.8m closeboard fence, timber posts in post spikes.

Plant Schedule

Ornamental Shrub Mix		
Qty	Name	Size
66	Chaenomeles speciosa 'Geisha Girl'	3L
66	Hebe 'Sapphire'	3L
66	Lavandula angustifolia 'Hidcote'	3L
66	Potentilla fruticosa 'Abbotswood'	3L
66	Spiraea x cinerea 'Grefsheim'	3L

Native Hedge Mix		
Qty	Name	Size
81	Corylus avellana	60-80cm, 1+1 transplant, bare root
117	Crataegus monogyna	60-80cm, 1+1 transplant, bare root
22	Ilex aquifolium	3L
10	Rosa canina	60-80cm, 1+1 transplant, bare root

Portuguese Laurel Hedge		
Qty	Name	Size
166	Prunus lusitanica	3L

Screening to bin store and bike shed		
Qty	Name	Size
18	Viburnum tinus 'Eve Price'	5L

Trees		
Qty	Name	Size
1	Acer buergerianum	Selected Standard
1	Acer pensylvanicum	Selected Standard
4	Cercidiphyllum japonicum	Selected Standard
1	Cotoneaster 'Cornubia'	Selected Standard
3	Corylus avellana	Multi-stem, 2m
2	Metasequoia glyptostroboides	300cm, C 30L
2	'Sheridan Spire'	
3	Robinia x slavini 'Hillieri'	Selected Standard

Beech hedge		
Qty	Name	Size
297	Fagus sylvatica	60-80cm, 1+1 transplant, bare root



rev:	date:	description:
A	21/09/16	first issue
B	26/01/17	site layout updated, planning comments
C	03/02/17	NRW comments
D	10/05/17	Layout updated
E	27/09/18	Layout updated
F	26/10/18	Layout updated
G	30/10/18	Layout updated
H	31/07/19	Layout updated
	22/08/19	Layout updated

tel: 0333 4561132 fax: 01743 243602
 email: info@lingardstyles.co.uk

9 College Hill, Shrewsbury Shropshire, SY1 1LZ
 The Studio, Farm Lodge, Leighton, Welshpool, Powys, SY21 8HD

client / project:
 Proposed Development
 Lozelles Site, Lisvane
 Cardiff

title:
 Landscape Plan

dwg. no:	scale:	drawn:	chkd by:
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COUNCILLOR OBJECTIONS AND PETITION

COMMITTEE DATE: 20/11/2019

APPLICATION NO. **19/02126/DCH** APPLICATION DATE: 31/07/19ED: **CYNCOED**

APP. TYPE: Full Planning Permission

APPLICANT: Dr A Helu

LOCATION: 1 THE FAIRWAY, CYNCOED, CARDIFF, CF23 6RF

PROPOSAL: SINGLE STOREY REAR AND TWO STOREY SIDE
EXTENSIONS

RECOMMENDATION 1: That planning permission be **GRANTED** subject to the following conditions:

1. C01 Statutory Time Limit
2. The development shall be carried out in accordance with the following approved plans:
 - 201 R4
 - 202 R5

Reason: To ensure satisfactory completion of the development and for the avoidance of doubt in line with the aims of Planning Policy Wales to promote an efficient planning system.

3. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (Amendment) (Wales) Order 2013 (or any Order amending, revoking or re-enacting that Order) no windows shall be inserted in the south west elevation of the extension.
Reason: To ensure the privacy of adjoining occupiers is protected in accordance with Policy KP5 of the adopted Cardiff Local Development Plan (2006-2026).
4. Notwithstanding the submitted plans the finish of the wall of the front elevation shall be finished in facing brick to match the host building.
Reason: To ensure that the material harmonises with the character of building and area in accordance with Policy KP5 of the adopted Cardiff Local Development Plan (2006-2026).

RECOMMENDATION 2: That the applicant be advised that no work should take place on or over the neighbour's land without the neighbour's express consent and this planning approval gives no such rights to undertake works on land outside the applicant's ownership.

RECOMMENDATION 3: Dwr Cymru Welsh Water advise that the proposed development site is crossed by a public sewer and that no development will be permitted within the safety zone which is measured 3m either side of the centre line. For details please contact Developer Services on 0800 917 2652 or developer.services@dwrwymru.com

1. **DESCRIPTION OF PROPOSED DEVELOPMENT**

- 1.1 The proposal was presented to the October Planning Committee, when a decision was taken to defer the matter to allow for members of the Committee to visit the site. The visit was undertaken on 11th November 2019.
- 1.2 Full planning permission is sought to extend an existing semi-detached house with a two storey extension to the side and a wraparound single storey element to the remaining side and the rear. The side extension would have a small single storey element at the front, which would extend forward of the front elevation of the existing dwelling, following the building line of the existing front porch. The two storey element would extend out to the side by a maximum of 3.2m, becoming narrower towards the rear, following the broadly triangular shape of the site. The two storey element would be 2.9m deep with a pitched roof. The roof pitch would match that of the main roof, and would have a ridge line 1.5m below that of the ridge of the main roof. The wraparound single storey element would extend out a maximum of 3m to the side, becoming narrower towards the rear, and would extend beyond the rear wall of the existing house by 3.9m. It would have a sloping roof which would be 2.5m in height at the eaves and 3.3m at its highest point. The side elements would be set off the rear boundary of the houses along Westminster Drive by approximately 1m. The first set of amended plans submitted indicated an additional side facing door at ground floor level and an additional rear facing window at first floor level.
- 1.3 The proposals initially included a hip to gable roof alteration and a rear dormer. A certificate of lawful development has subsequently been granted for the hip to gable alteration and rear dormer, i.e. confirming that these elements can be carried out under permitted development rights and do not require planning permission from the Local Planning Authority. This application has, therefore, been amended to remove these elements from consideration. The second set of amended plans submitted demonstrate the roof elements, but are annotated to indicate that the hip to gable alteration and rear dormer will be carried out under permitted development rights. A final set of amended plans have been received which adds to the above by clarifying the finish of the wrap around and first floor extension in sand cement render
- 1.4 Construction work has already commenced on the application site. The walls of the proposed extensions have been partially built at ground floor level. The hip to gable alteration and rear dormer are nearing completion.

2. **DESCRIPTION OF SITE**

- 2.1 The site is located on the north west side of The Fairway, a residential street accommodating a mix of semi-detached two storey dwellings and bungalows. The site is broadly triangular in shape, being wider at the front of the site where it adjoins the pavement and narrower at the rear boundary. The western boundary of the site adjoins the rear boundary line of houses along Westminster Drive. The site sits at a slightly lower ground level than the houses on Westminster Drive.

3. **SITE HISTORY**

- 3.1 19/02517/DCH – A Certificate of Lawful Development for a rear dormer and a hip to gable alteration was granted on 23/09/19.

4. **POLICY FRAMEWORK**

- 4.1 National Planning Policy
- Planning Policy Wales (2018)
 - Technical Advice Note 12 'Design' (2014)
- 4.2 Cardiff Local Development Plan (2006-2026)
- Policy KP5 'Good Quality and Sustainable Design'
 - Policy T5 'Managing Transportation Impacts'
- 4.3 Supplementary Planning Guidance
- Residential Extensions and Alterations (2017)
 - Managing Transportation Impacts (Incorporating Parking Standards) (2018)

5. **INTERNAL CONSULTEES RESPONSES**

- 5.1 None.

6. **EXTERNAL CONSULTEE RESPONSES**

- 6.1 Dwr Cymru Welsh Water comment that the proposed site is crossed by a public sewer. Under the Water Industry Act 1991 Dwr Cymru Welsh Water has rights of access to its apparatus at all times. No part of the building will be permitted within 3 metres either side of the centreline of the public sewer.

7. **REPRESENTATIONS**

- 7.1 Neighbouring occupiers have been notified of the original and the amended plans by way of neighbour consultation letters.
- 7.2 A petition of 59 signatures has been received objecting to the proposal.

7.3 Councillor Hopkins and Councillor Malik write in support of constituents who have objected, requesting that the application is determined by Planning Committee and raising the following concerns:

- Building work commenced immediately after the house was purchased, prior to submission of a planning application;
- Plans represent a substantial over-development of a single residential property;
- Original roofline allowed for unhindered views of the skyline but the scale of the proposed dormer will significantly overshadow and overlook gardens of adjoining properties, compromising privacy;
- Dormer is unsightly in size and contrasts with the dormer on the adjoining property which has been extended in a manner more in keeping with the style and overall size of this and neighbouring properties;
- Potential adverse impact on resale value of neighbouring properties;
- Concerns about whether the proposals fall within permitted development limits;
- Commencing work on the property prior to receiving a planning determination may be a contravention of planning regulations;
- Concern the dormer is excessively scaled and may not meet guidelines contained in the SPG;
- Proximity of side extension to neighbouring properties means it should be subject to Party Wall Act and a party wall agreement;
- Planning application submitted was not accurate as it stated there would be no demolition, no alterations and enlargements to the roof and no loss of trees and hedges;
- Plans do not include dimensions, such information is material to decisions about the appropriateness of the plans;
- Concern Building Regulations approval may not have been sought;
- Ongoing development should be halted until a determination is made about the planning application as a whole;
- Development has caused disquiet and distress amongst a significant number of local residents. Developer has not followed good practice guidelines in the SPG advising developers to respect the context of the neighbourhood and to consult neighbours where the proposals affect their home or privacy. The development risks being un-neighbourly.

7.4 Letters of objection have been received in relation to the original plans and also the amended plans from the occupier of 3 The Fairway; the occupiers of 12, 14 and 18 Westminster Drive; the occupier of 4 Hampton Crescent West and Martin Carr of Building Logistics on behalf of an unspecified neighbouring occupier. They object to the proposal on the following summarised grounds:

Design

- The proposed extensions represent an over-development of the plot/overcrowding of the site;
- Out of keeping/out of character with surrounding houses and the area;
- Proposals are out of keeping with the form and scale of the existing house and do not sit comfortably within the street scene. Extension would not be subservient;

- Overall bulk and aesthetic appearance of the proposed dormer is not in keeping with the proportions of the existing house. Disproportionate to the existing property;
- Negative/adverse visual impact;
- Setting of a precedent which would allow further oversized carbuncles to be approved;
- Dormer extensions which extend on all three elevations are bulky, incongruous and unsightly to neighbouring residents;
- Poor design which is hideous/unsightly in appearance;
- Large flat roof dormer will appear top-heavy. The rear of the property has the appearance of having a third storey added;
- Proposals will unbalance the pair of semis - extended house will be very large and will differ significantly from/be incompatible with the house that it is attached to (no.3);
- Dormer as constructed appears very similar to a diagram in the SPG which demonstrates unacceptable dormer design. Likely the proposals exceed the requirements for planning permission to be granted set out in the SPG;
- Side extension would not fall under permitted development limits.

Impact upon Neighbouring Occupiers

- Overbearing impact;
- Overlooking of neighbours' rear facing windows and gardens and detrimental impact upon privacy;
- Loss of view and outlook. Current skyline views will be dominated by the extended ridges, hips and verges of the proposed dormer structures;
- Loss of daylight and increased overshadowing;
- Increased shading of gardens and detrimental impact upon ability of neighbours to grow plants;
- Building work has caused disturbance, dust and noise preventing quiet enjoyment of homes and gardens, inability to have windows open, sit out or hang washing out etc.
- Building work has left the house without a roof and the internal party walls with no. 3 exposed to the elements.

Issues with the Commencement of Construction

- Construction work commenced prior to the planning application being determined;
- Construction work under way differs from the submitted proposals and what the applicant has informed neighbours he is intending to build;
- Applicant has not filled in the application form correctly e.g. a garage has been demolished when he has indicated that no demolition will take place;
- Work on site should have been stopped.

Other Issues

- None of the submitted drawings contain any measurements or details of materials, making assessment of whether the development falls within permitted development limits difficult;

- Construction of the dormer appears to exceed the limits of permitted development;
- No Party Wall agreement has been entered into;
- Health and safety concerns relating to building practices;
- Concern about level of insulation and soundproofing being installed between the roof space and the neighbouring house;
- Concern owner is a property developer who doesn't intend to live in the house;
- Decrease in value and saleability of neighbouring homes;
- Applicant should have bought one of the large 4 bedroom houses available for sale in the area;
- Damage was caused to garden fences when the garage was demolished. Cracks have appeared in the wall of the neighbour's playroom;
- Stressful experience for neighbours as construction has been carried out at a rapid pace and has not been stopped despite requests that it should be stopped;
- Likely that the proposed side opening door could not open fully due to the limited space between the extension and the neighbour's rear boundary wall;
- Small gap between the footings dug for the extension and the neighbour's boundary wall;
- Possibility of a raised balcony or roof terrace being constructed off the dormer;
- No objection to an appropriate extension being constructed, such as that built at the adjoining semi-detached property;
- Conditions should be imposed which will ensure that the development mirrors that constructed at the adjoining semi-detached property.

7.5 Neighbouring occupiers and objectors have been consulted on the second set of amended plans which are annotated to show the dormer and hip to gable alteration being carried out under permitted development rights. The 14 day consultation period ends on 10/10/19 and any representations received which raise additional issues will be reported as late representations.

8. **ANALYSIS**

8.1 The key material planning considerations are:

- The scope of the proposal;
- Impact upon the character of the area;
- Impact upon the occupiers of neighbouring properties;
- Other matters raised.

8.2 **The Scope of the Proposal**

The proposal initially included a hip to gable roof alteration and a rear facing dormer. Construction of the roof alterations and dormer began in July, with the building work initially appearing to exceed the parameters of development allowed under permitted development rights. The roof plane and the depth of the rear dormer were subsequently altered on site so that they fall within permitted development rights. A Lawful Development Certificate

(19/02517/DCH) for the hip to gable alteration and rear dormer was granted on 23/09/19. Concerns raised regarding the design and scale of the dormer are noted, but a Lawful Development Certificate is concerned only with whether the development is within the parameters of what is lawful, with no consideration of the merits of the scheme proposed. Amended plans were subsequently submitted in relation to this application which indicate that the hip to gable alteration and rear dormer are being constructed under permitted development rights. For the avoidance of doubt, the hip to gable alteration and rear dormer are outside the scope of the determination of this application and have consequently been removed from consideration.

8.3 Impact Upon the Character of the Area

The two storey side extension and single storey wraparound element along the remainder of the side elevation and to the rear are considered acceptable in terms of scale and design. The single storey element at the front would be located in front of the principal elevation of the existing dwelling, which would normally not be supported in planning terms. However, as the existing porch is forward of the front wall of the house, the continuation of the building line across to the front of the side extension is considered acceptable in design terms in this instance. It is noted that the two storey element would not be set back significantly from the principal elevation of the existing house. However, when considering the position of the existing porch forward of the principal elevation, the continuation of a single storey element in front of the two storey extension and the position of the ridge of the roof below that of the ridge of the main roof, these elements are considered sufficient to demonstrate subservience.

Several of the neighbouring properties have been substantially altered and extended to the side or to the rear, including the house which makes up the other half of the pair of semis, which has a single storey wraparound extension. In light of this, it is not considered that the proposed side and rear extensions would represent unusual or incongruous features, or that they would prejudice the general character of the area.

The proposed use of sand render is not an unusual finish for extensions and is considered acceptable on the side and rear of the building. However, it is considered that facing brick to match the existing building would be appropriate on the principal (front) elevation to ensure that the extension would harmonise with the building and the area when viewed in context with the main public vista.

8.4 Impact Upon the Occupiers of Neighbouring Properties

The two storey and single storey side extension would run parallel with the rear boundary line of no. 10-14 Westminster Drive, which are two storey houses to the west of the application site. The houses on Westminster Drive are set slightly above the ground level of the application site and orientated broadly at a right angle to the application property. The proposed extension would be separated from the rear boundary of the houses on Westminster

Drive by approximately 1m. A distance of 10.5m, or more, would be maintained between the rear of the houses on Westminster Drive and the side wall of the proposed extension. Given the orientation of the houses, it is acknowledged that some degree of additional overshadowing of the ends of the neighbouring gardens may occur as a result of the two storey element proposed. However, when taking into account the separation distance and the position of outbuildings at the end of some of the neighbouring gardens, it is not considered that the effect would be so significant that it would warrant a refusal of planning permission in this instance.

The two storey element would be located approximately 10.5m away from the closest point of the rear of houses along Westminster Drive, several of which have been extended to the rear. Although the proposal would result in the two storey element being closer to the neighbouring houses than the existing side wall, due to the separation distance and taking into account that the two storey element would only cover part of the existing side wall, it is not considered that there would be an overbearing impact upon the occupiers.

The rear extension would adjoin a similarly proportioned single storey extension to the rear of the attached house. It is not considered that there would be any detrimental impact upon the occupiers of no. 3 in terms of overshadowing or overbearing impact.

The use of render on the elevations facing the adjoining properties is not considered to result in a detrimental impact upon their amenity.

8.5 Other Matters Raised

- All planning applications are determined based on their own merits;
- Impact upon the value or saleability of neighbouring houses is not a material planning consideration;
- The availability for sale of larger properties in the area is not a material planning consideration;
- Issues relating to the party wall fall outside the scope of planning legislation and would be dealt with under the Party Wall Act 1996;
- Any damage potentially caused by construction works, demolition of the garage, or the internal party walls being open to the elements would be a civil matter to be resolved between the relevant parties;
- Health and safety concerns relating to building sites are outside the scope of planning legislation and are the responsibility of the Health and Safety Executive;
- No regard can be given to whether the applicant is a property developer or whether he intends to live in the property himself;
- Building Regulations is a separate approval process to the planning application;
- It is not an offence to commence development without the benefit of planning permission. The application will still be assessed upon its merits;
- It is acknowledged that the two storey and single storey extension proposed falls outside the parameters of permitted development, but as a

planning application has been submitted the extension is not required to be within these limits;

- Scaled drawings were submitted which can be measured using a scale ruler. It is noted that applicants are not obliged to include figured measurements on their drawings;
- The application submitted does not contain proposals for a roof terrace or balcony off the rear dormer;
- The Council has no powers to compel the applicant to mirror the development carried out on the adjoining house. In determining this application, regard can only be given to the acceptability or otherwise of the proposals submitted by the applicant.

9. **OTHER CONSIDERATIONS**

9.1 Crime and Disorder Act 1998 – Section 17(1) of the Crime and Disorder Act 1998 imposes a duty on the Local Authority to exercise its various functions with due regard to the likely effect of the exercise of those functions on, and the need to do all that it reasonably can to prevent, crime and disorder in its area. This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable increase in crime and disorder as a result of the proposed decision.

9.2 Equality Act 2010 – The Equality Act 2010 identifies a number of ‘protected characteristics’, namely age; disability; gender reassignment; pregnancy and maternity; race; religion or belief; sex; sexual orientation; marriage and civil partnership. The Council’s duty under the above Act has been given due consideration in the determination of this application. It is considered that the proposed development does not have any significant implications for, or effect on, persons who share a protected characteristic.

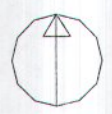
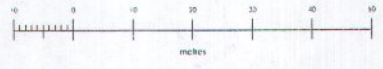
9.3 Well-Being of Future Generations Act 2016 – Section 3 of this Act imposes a duty on public bodies to carry out sustainable development in accordance with the sustainable development principle to act in a manner which seeks to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs (Section 5). This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable impact upon the achievement of wellbeing objectives as a result of the recommended decision.

10. **RECOMMENDATION**

10.1 Having regard to the policy context above, the proposal is considered acceptable and it is recommended that planning permission be granted, subject to conditions.

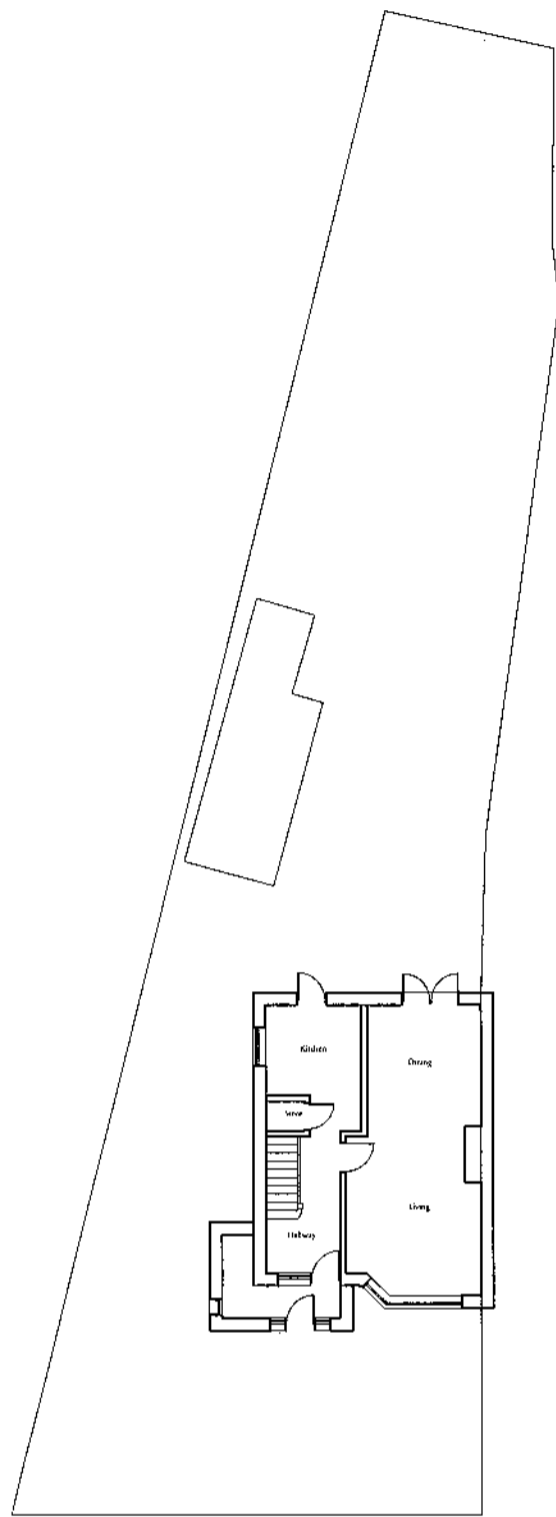


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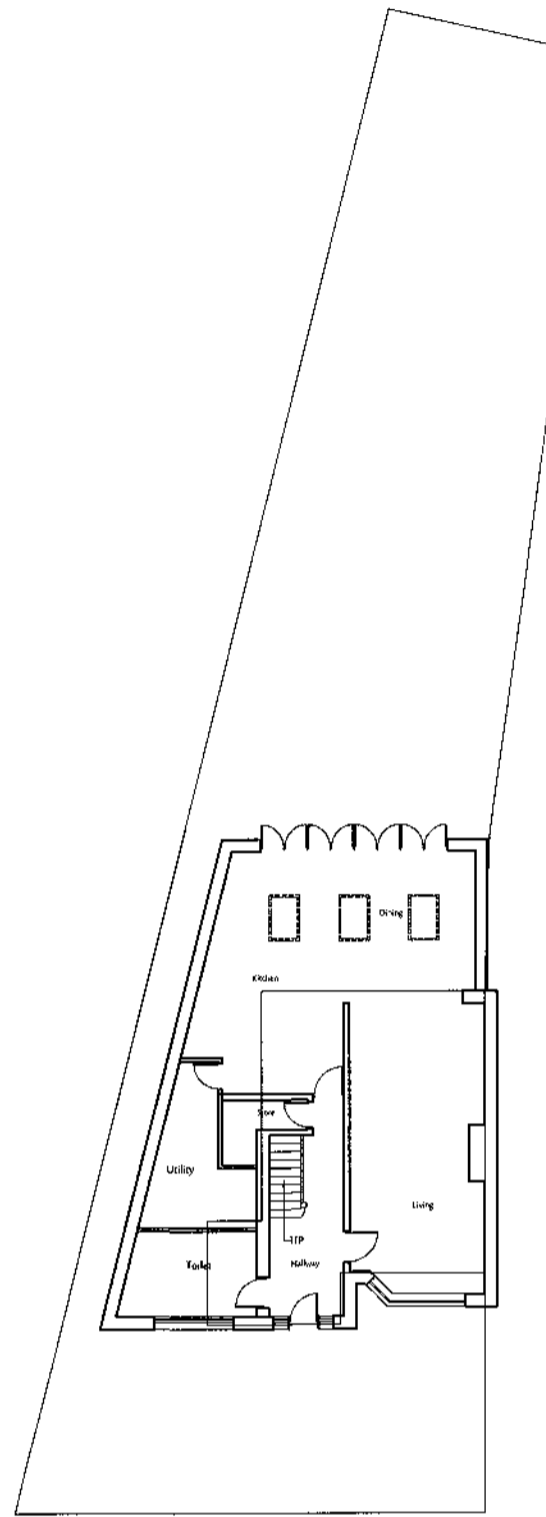


19/02123

Site Location Plan



EXISTING
SITE PLAN



PROPOSED
SITE PLAN

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Date: JULY 2019

Project: 1 THE FAIRWAY

Client:

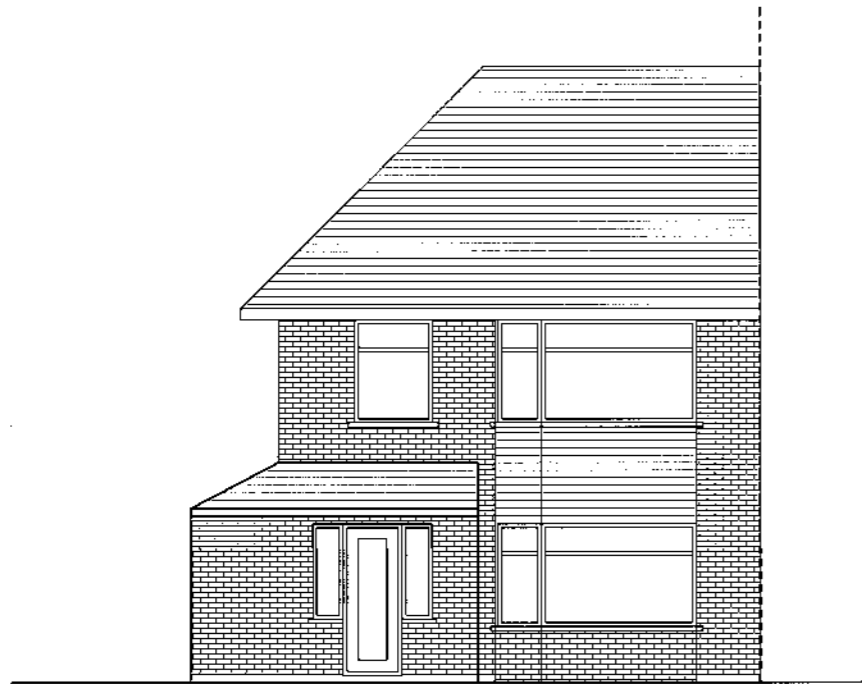
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EXISTING AND PROPOSED
SITE PLANS

Job No: Scale:
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Dwg No: Drawn By:
301 KG



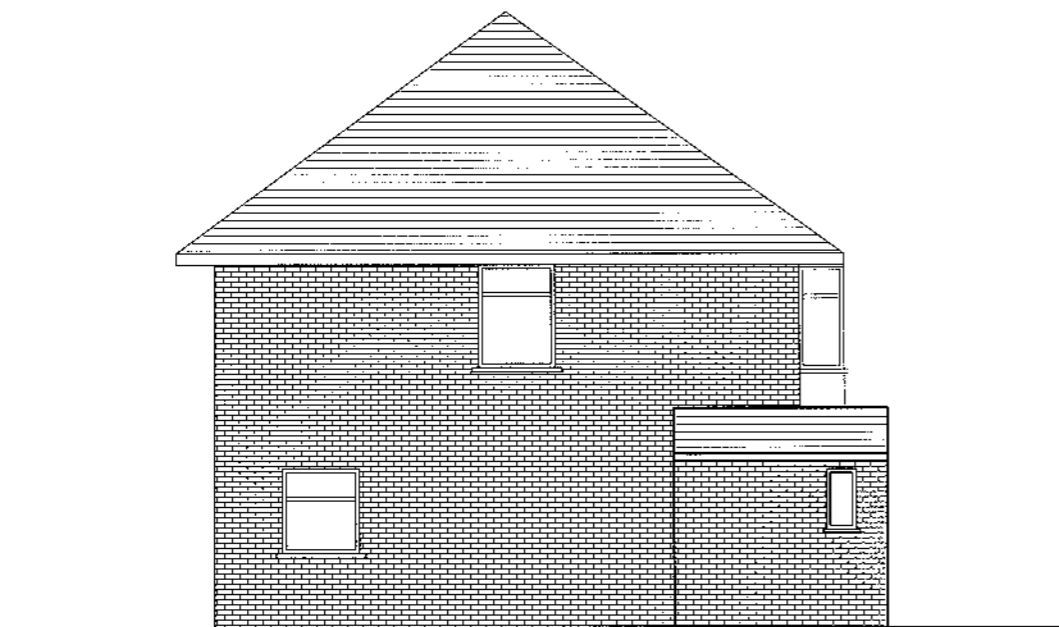
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29B, Cleverley Way, Lakeside, Consett, CP2 6DZ
Tel: 029 20 761 950
Fax: 029 20 761 950
Email: info@skdesigns.org.uk



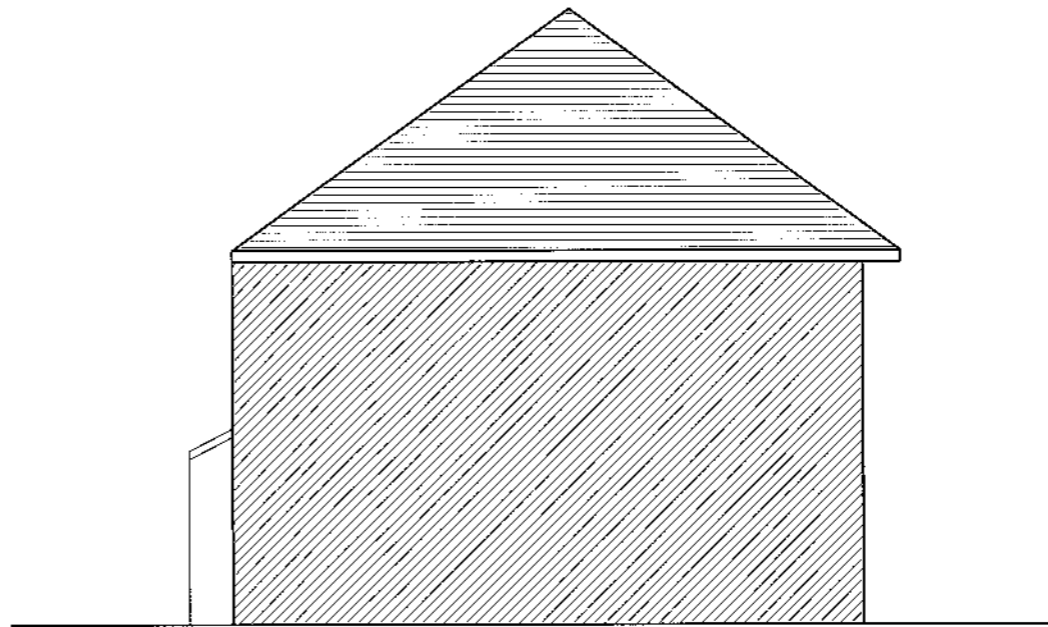
EXISTING FRONT ELEVATION



EXISTING REAR ELEVATION




EXISTING SIDE ELEVATION

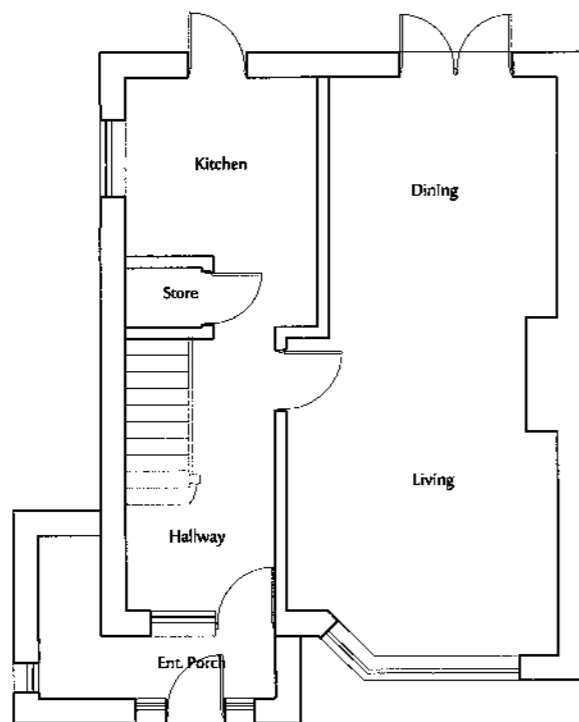


EXISTING SIDE ELEVATION

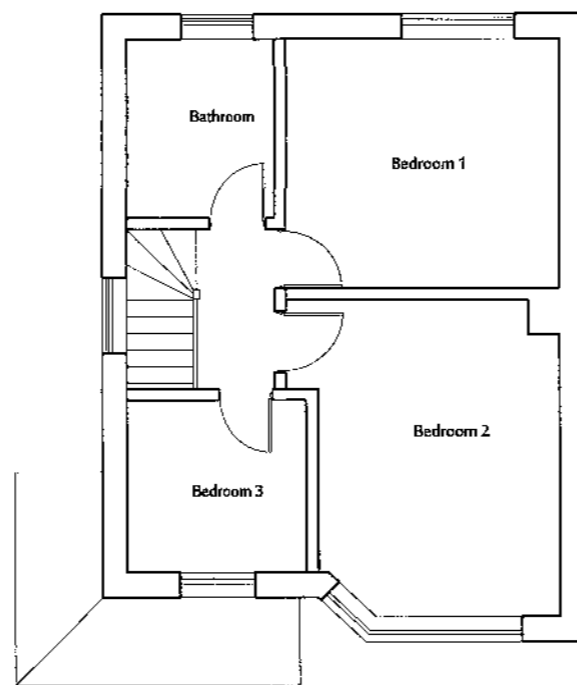
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Date: JULY 2019		
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Client:		
Description: EXISTING ELEVATIONS	Job No:	Scale: 1:100
	Dwg No: 102	Drawn By: KG



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353, Cleverley Way, Letchworth, Hertfordshire, SG9 6JZ
 Tel: 020 26 761 950
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EXISTING GROUND FLOOR PLAN



EXISTING FIRST FLOOR PLAN

19/02/20


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Date: JULY 2019

Project: 1 THE FAIRWAY

Client:

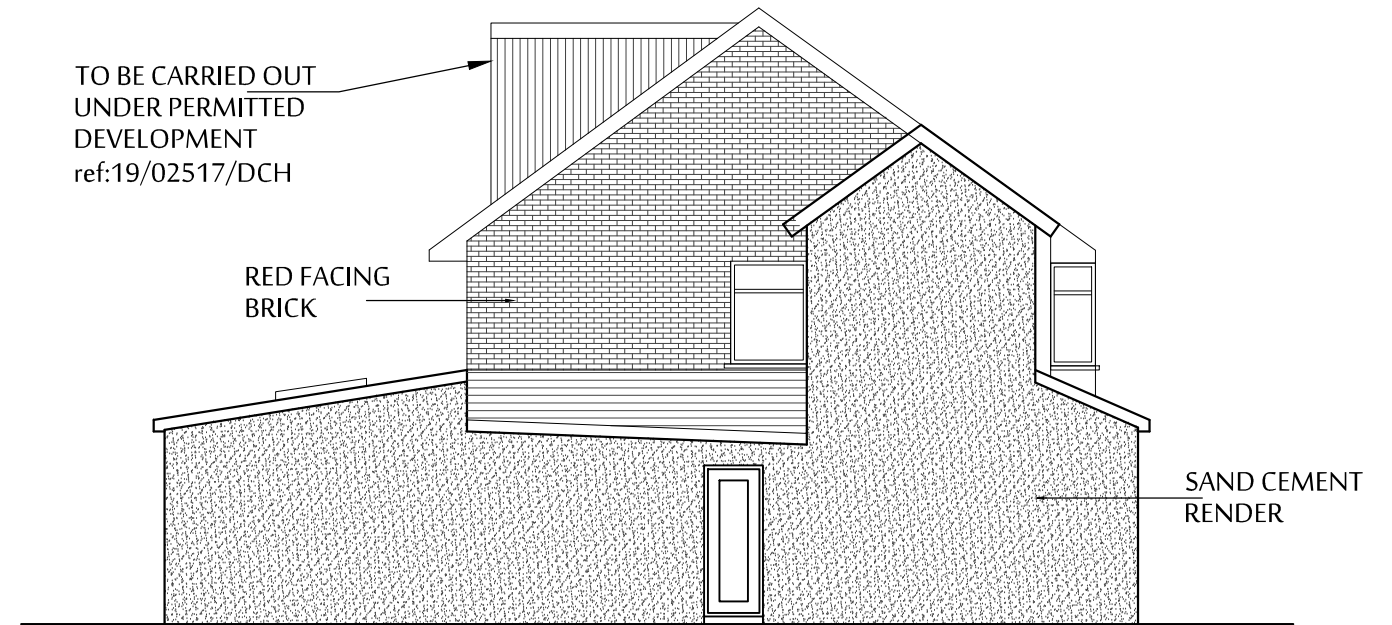
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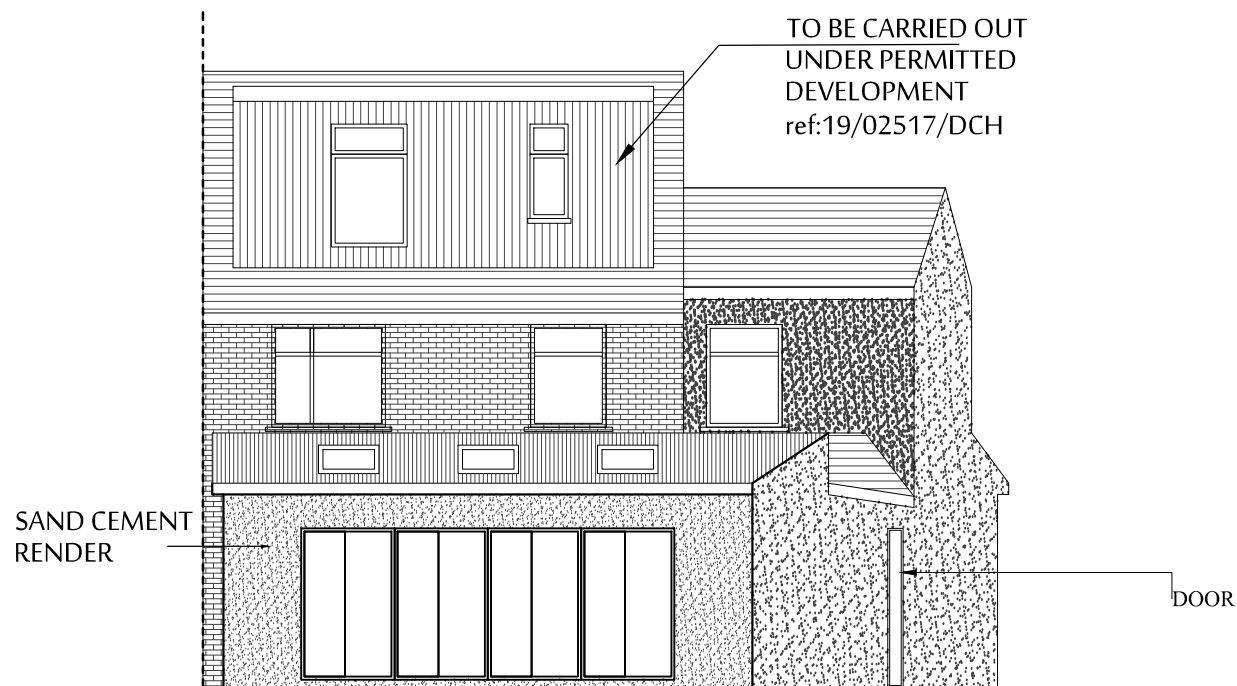
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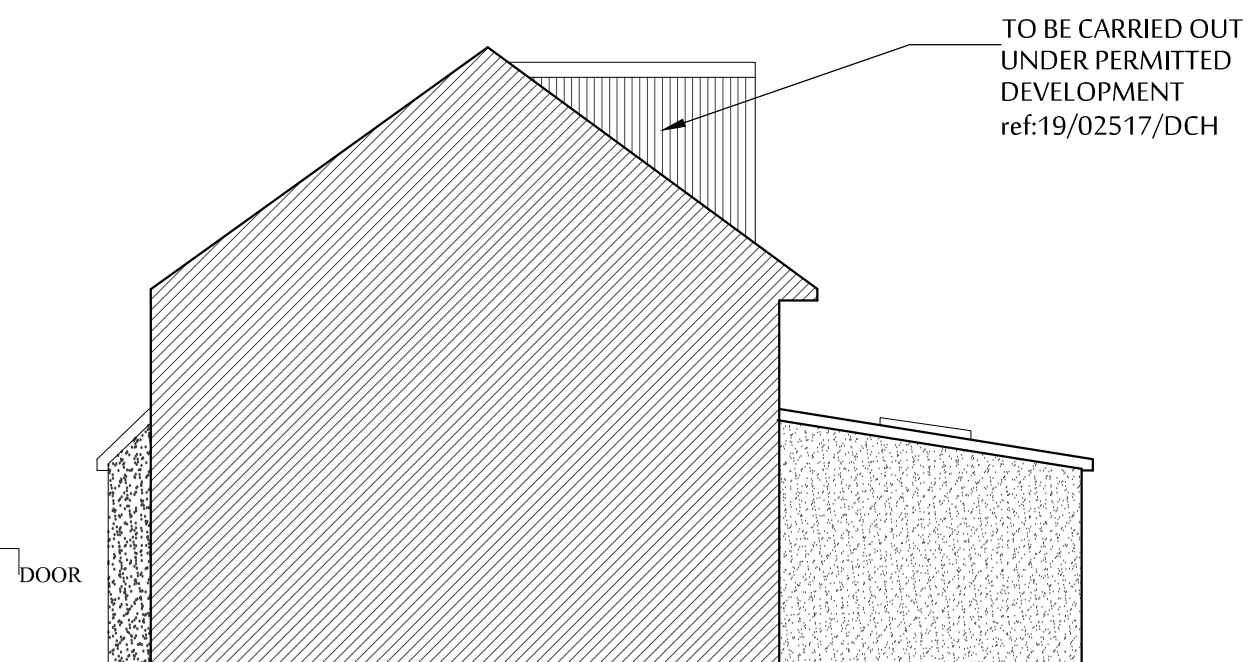
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PROPOSED SIDE ELEVATION

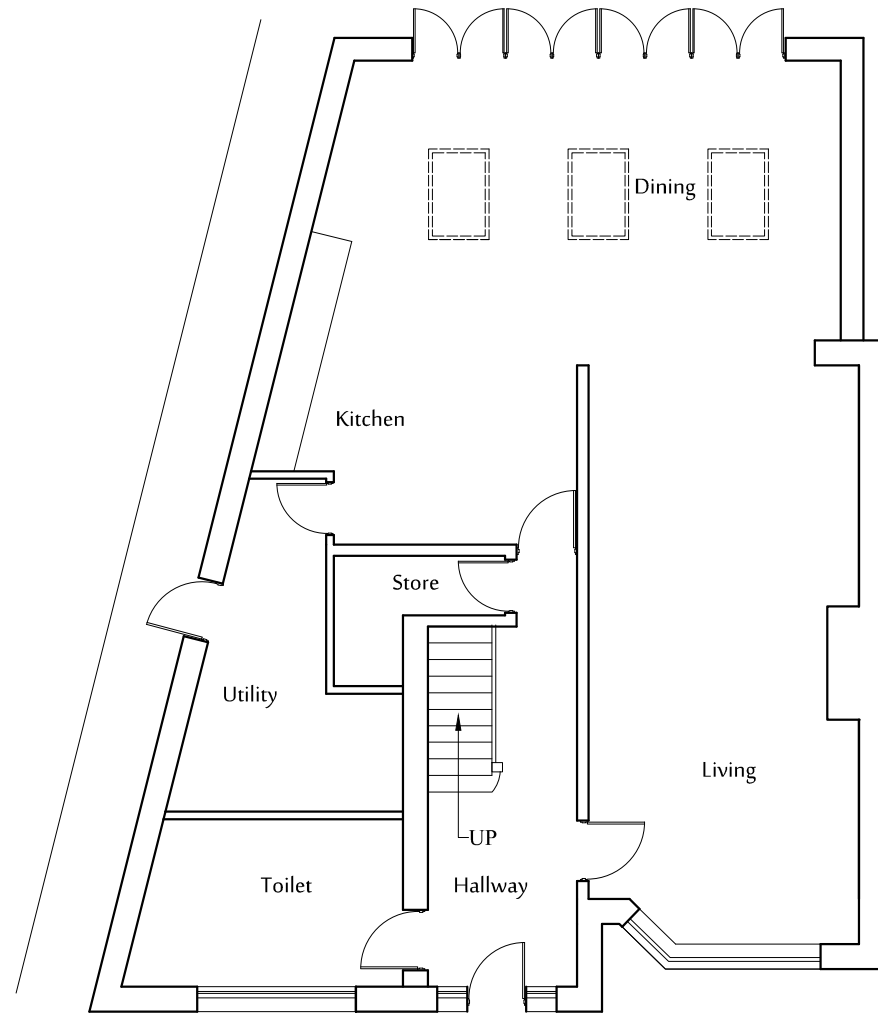


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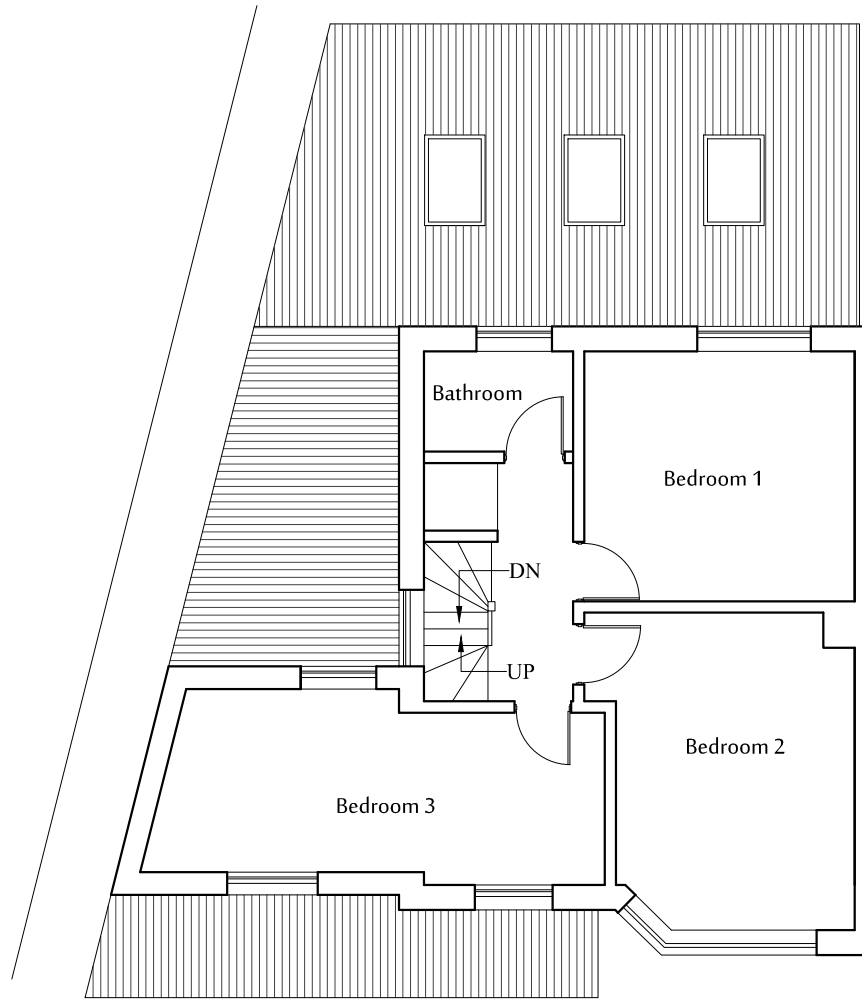


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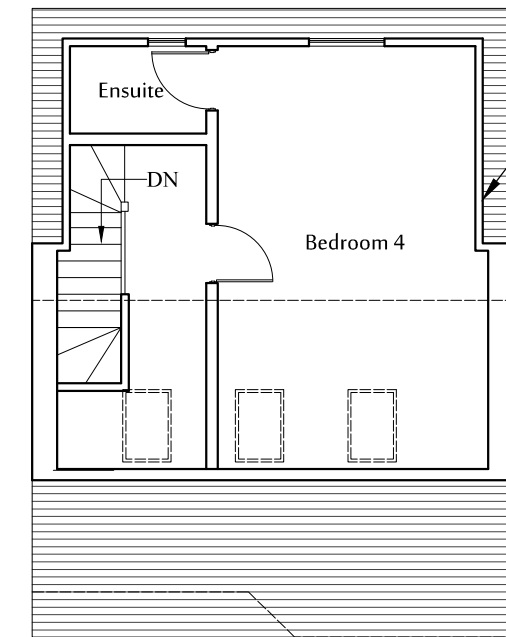
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Client:		
Description: PROPOSED ELEVATIONS	Job No:	Scale: 1:100
	Dwg No: 202 R5	Drawn By: KG
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PROPOSED GROUND FLOOR PLAN




PROPOSED FIRST FLOOR PLAN



PROPOSED LOFT PLAN

TO BE CARRIED OUT UNDER PERMITTED DEVELOPMENT ref:19/02517/DCH

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Date: SEP 2019			
Project: 1 THE FAIRWAY			
Client:			
Description: PROPOSED PLANS			
Job No:	Scale:	1:100	
Dwg No: 201 R4	Drawn By: KG		

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PETITION, LOCAL MEMBER, MP& AM OBJECTIONS

COMMITTEE DATE: 20/11/2019

APPLICATION No. **19/02020/MNR**

DATE RECEIVED: 23/07/2019

ED: **CANTON**

APP: TYPE: Full Planning Permission

APPLICANT: Mr Lubin

LOCATION: 29 Alexandra Road, Canton, Cardiff

PROPOSAL: CONVERSION OF TWO FLATS INTO 4 WITH SINGLE STOREY REAR EXTENSION AND LOFT CONVERSION.

RECOMMENDATION 1: That planning permission be **GRANTED** subject to the following conditions:

- 1 C01 – Statutory Time Limit
- 2 The development shall be carried out in accordance with the approved drawings numbered 483-P06A, 483-P07, 483-P08, 483-P09 & 483-P10.
Reason: To ensure satisfactory completion of the development and for the avoidance of doubt in line with the aims of Planning Policy Wales to promote an efficient planning system.
- 3 Prior to occupation of the flats hereby approved, refuse storage shall be provided externally and shall thereafter be retained.
Reason: To secure an orderly form of development and to protect the amenities of the area in accordance with Policy W2 of the Local Development Plan.
- 4 Prior to occupation of the flats hereby approved undercover and secure cycle storage shall be provided in accordance with drawing numbered 483-P06A and shall thereafter be retained.
Reason: To ensure that secure and undercover cycle parking facilities are provided to encourage other modes of transport over the private car, in accordance with Policy T5 of the Local Development Plan.

RECOMMENDATION 2: Developers of all new residential units are required to purchase the bin provision required for each unit. The bins have to meet the Council's specifications and can be purchased directly by contacting Waste Management's commercial team (029 20717500).

1. **DESCRIPTION OF PROPOSED DEVELOPMENT**

- 1.1 The application seeks planning permission to convert a two storey end of terrace dwelling from two to four flats and to erect single a storey rear extension.
- 1.2 A 2.6m long 1.8m wide single storey infill extension is proposed alongside an existing single storey extension, it would have a flat roof 2.9m high and be finished in render.
- 1.3 Two roof lights would also be inserted in the rear roof slope of the main roof.
- 1.4 Internally the accommodation would comprise of a flat (30m²) within the ground floor front, a flat (32m²) within the ground floor rear, a flat (43m²) within the first floor front and main roof space and a flat (30m²) within the first floor rear. All flats would be accessed via an existing entrance from Alexandra Road.

2. **DESCRIPTION OF SITE**

- 2.1 The site comprises a two storey end of terrace building accommodating two flats with an external area at the rear.

3. **SITE HISTORY**

- 3.1 10/01316/DCH – planning permission granted for retention of single storey rear extension.

3.2 Related History:

02/02748/W – planning permission granted and implemented for conversion of no. 48 Alexandra Road to two flats.

90/00276/W – planning permission granted and implemented for use of no. 53 Alexandra Road as two flats.

12/00037/DCO – planning permission granted and implemented for conversion of no. 66 Alexandra Road to two flats with rear dormer extension single storey extension part first floor and part two storey extension.

16/01363/E – planning permission granted and implemented for conversion of no. 67 Alexandra Road to two flats with single storey side extension to the rear annexe and balcony to rear.

4. **POLICY FRAMEWORK**

4.1 Relevant National Planning Guidance:

Planning Policy Wales (Edition 10, 2018)
Technical Advice Note 12: Design

Technical Advice Note 15: Development & Flood Risk

4.2 Relevant Cardiff Local Development Plan (2006-2026) policies:

Policy KP5 (Good Quality and Sustainable Design)

Policy EN14 (Flood Risk)

Policy H5 (Subdivision or Conversion of Residential Property)

Policy T5 (Managing Transport Impacts)

Policy W2 (Provision for Waste Management Facilities in Development)

4.3 Relevant Supplementary Planning Guidance

Flat Conversions (2019).

Managing Transportation Impacts (Incorporating Parking Standards) 2018.

Waste Collection and Storage Facilities (2016).

Residential Extensions & Alterations (2015).

5. **INTERNAL CONSULTEE RESPONSES**

5.1 Transportation – There would be 4 x secure cycle parking spaces to the rear of the property. The rear amenity space (inc bins & bikes) can only be accessed by all flats from the public highway off Eton Place. There is an existing drive/vehicle access to the rear of the property, but as this is to be removed and fails to provide a dropped kerb access across the footway, this will not need to be rectified. On-street car parking could be available near to the property. The cycle parking numbers are adequate to satisfy the minimum requirements although confirmation that the facility offers covered/sheltered parking is required.

5.2 Waste Management – The proposed storage area has been noted and is acceptable. Each flat will require the following for recycling and waste collections: 1 x 140 litre bin for general waste; 1 x 25 litre kerbside caddy for food waste; Green bags for mixed recycling (equivalent to 140 litres). The storage of which must be sensitively integrated into the design. Please advise the owner/applicant that since 27th July 2015, the developers of all new residential units are required to purchase the bin provision required for each unit. The bins have to meet the Council's specifications and can be purchased directly by contacting the Waste Management's commercial team on 029 20717500.

6. **EXTERNAL CONSULTEE RESPONSES**

6.1 Natural Resources Wales – initially requested a Flood Consequences Assessment (FCA) to demonstrate the risks and consequences of flooding can be managed to an acceptable level in accordance with Technical Advice Note 15. The planning application proposes high vulnerable development (2 flats into 4 flats). This represents the retention of a highly vulnerable development. Our Flood Risk Map, which is updated on a quarterly basis, confirms the site to be wholly within Zone C1 of the Development Advice Map

(DAM) contained in TAN15 and the 0.1% (1 in 1000 year) annual probability fluvial flood outlines of the River Taff.

Further to the submission of an FCA, NRW have advised as follows: The submitted FCA (Residential Development at 29 Alexandra Road, Canton, Cardiff, CF5 1NS, Flood Consequence Assessment by W M Clarke Ltd) shows that based on the Finished Floor Levels (FFL) of 8.7868m AOD the site is predicted to be flood free during both the 1% (1 in 100 year) flood event plus climate change allowance (CCA), and during the 0.1% (1 in 1000 year) flood event. We therefore we have no objection to the application as submitted.

7. **REPRESENTATIONS**

7.1 The application was publicised by letter. A petition of objection was received, signed by 69 residents with addresses in Cardiff, all of which are within the vicinity who could reasonably be affected by the matter. Full details are viewable online.

7.2 Objections have been received from the following addresses:

- nos. 27, 29, 32 Alexandra Road
- 19, 24, 40A Penllyn Road
- 49, 50 Theobald Road
- 15 Eton Place
- 20 Brecon Street.

Full details are viewable online, their comments are summarised as follows:

- a) *Overdevelopment/Internal Floor Areas of Flats;*
- b) *Parking;*
- c) *Loss of family accommodation;*
- d) *Noise/Sound Insulation;*
- e) *Refuse Storage;*
- f) *Standard of Amenity Space;*
- g) *Strain on Utilities/Sewerage System;*
- h) *Planning permission not gained for Existing Flats;*
- i) *Future use of the flats;*
- j) *Precedent for Further Conversions.*

7.3 Cllrs Stephen Cunnah, Susan Elsmore and Ramesh Patel object to the application, as follows:

The Canton Councillors are objecting to this application because we consider it an overdevelopment. The proposal is to convert two flats into four with a single-storey extension and loft conversion. We clearly see this an over development for a house of this size. The flats are very small and barely meet the minimum space standards (Policy H5i of the LDP). If this development is approved it will have a detrimental effect on parking in the vicinity, which is already at maximum levels. The street has 75% residents parking. Canton

clearly needs more family homes and not very small studio flats and two-bed flats. The SPG states (Section 5.1) that Cardiff has a high shortage and this includes the provision for family accommodation. Converting this property into four flats will necessitate more bins. The bin collections are done from Alexandra Road and not Eton Place, and the front gardens are too small to accommodate all the bins on collection days. This would cause an obstruction on the highway (Alexandra Road). We also have a concern regarding the safety of the tenants and neighbours, as no fire exit has been provided for the upstairs flats or for the loft and there will be a kitchen upstairs. Please take this safety issue as a serious concern from the Canton Councillors. We would be grateful if the Planning Committee would consider refusing this application for the reasons given.

7.4 Mark Drakeford AM & Kevin Brennan MP have commented as follows:

We are aware of objections from local residents and local councillors to this planning application. In addition to the points which they will have already made, we are particularly concerned at the quality of accommodation which would result from the proposed intensification of use involved in this application. We hope the planning committee will consider very carefully the desirability of allowing space standards of this sort to become part of redevelopment in what is already one of the most densely populated areas in the whole of Wales.

8. **ANALYSIS**

8.1 Policy

Subdivision of residential properties is supported by Policy H5 of the Local Development Plan, the subdivision of a residential building into smaller residential units can be an important source of housing. National Planning policy encourages the provision of additional housing stock within previously developed or existing residential land. Paragraph 4.2.17 of Planning Policy Wales states that *'Maximising the use of suitable previously developed and/or underutilised land for housing development can assist regeneration and at the same time relieve pressure for development on greenfield sites.'* It is noted that other residential dwellings within Alexandra Road have been subdivided to flats, however Policy H5 does not identify a threshold at which subdivision of residential dwellings is considered to reach saturation level. In this case it is noted that building is already in use as two flats. Accordingly, it is not considered that subdivision from two to four flats would adversely affect the general character of the area.

8.2 Residential Amenity

It is not considered that the single storey extension would be overbearing or un-neighbourly to justify concern for the Local Planning Authority. The extension would be positioned alongside an existing single storey structure adjacent to the adjoining highway at Eton Place, having no impact upon the amenity of adjoining dwellings.

8.3 Design

The scale of the single storey extension is considered acceptable, it would not be out of character to the locality and will provide a subservient addition to the building. The roof lights to the rear roof slope are considered visually acceptable.

8.4 Internal/External Space

The internal floor area of all flats satisfies the minimum requirements recommended by the Flat Conversions SPG at an internal height of 1.5m or more, and the outlook from all living areas is considered adequate. An external amenity area of approximately 23 square metres (excluding the cycle store) would be retained at the rear, accessible by all flats.

8.5 Waste Management

Refuse storage can be satisfactorily accommodated within the external area to the rear as confirmed by Waste Management, condition 3 is considered necessary to ensure storage is provided prior to beneficial occupation of the flats and thereafter retained.

8.6 Transportation

The Managing Transportation Impacts (Incorporating Parking Standards) SPG identifies no requirement for off street parking, and provision of cycle parking at a minimum ratio of 1 space per bedroom. The proposal is therefore considered to be car parking policy compliant with no off street parking spaces. The site is also in a sustainable location near to bus routes. Details of satisfactory secure and sheltered cycle storage have been submitted indicating provision of independently accessible cycle storage externally to the rear. Condition 4 is considered necessary to ensure the cycle storage is provided prior to beneficial occupation and thereafter retained.

8.7 Flood Risk

Natural Resources Wales have reviewed the submitted Flood Consequences Assessment and have no objection to the application as the site is predicted to be flood free during both the 1% (1 in 100 year) flood event plus climate change allowance (CCA), and during the 0.1% (1 in 1000 year) flood event. Having regard to the above is not considered that occupants would be subject to unacceptable flood risk, therefore the development is considered justified in accordance with section 6 of TAN15.

8.8 Representations

The representations received from the neighbouring residents, Cllrs Stephen Cunnah, Susan Elsmore, Ramesh Patel, Mark Drakeford AM and Kevin Brennan MP are noted. Specific issues are addressed as follows:

- a) Overdevelopment/Internal Floor Areas of Flats. It is considered that the provision of four flats is acceptable as detailed within the above amenity analysis. The proposed floor plans indicate that the internal floor area of all flats satisfies the minimum requirements recommended by the Flat Conversions SPG of 30 square metres for a studio flat and 35 square metres for a one bedroom flat.
- b) Parking. The proposal is compliant with the Access, Circulation and Parking Standards SPG with no off street parking spaces subject to provision of cycle parking as detailed within the transportation analysis.
- c) Loss of family accommodation. There is no planning policy/guidance in terms of thresholds/saturation of flat conversions. Although the Flat Conversions SPG recommends a range of flat sizes including two bedroom flats on the ground floor, this could not be relied on to support a refusal, particularly as in this instance there is an existing one bedroom flat at ground floor
- d) Noise/Sound Insulation. It is not considered that the proposal would result in adverse noise consequences. The proposal does not involve any material change of use as the existing use is residential. Planning Policy Wales Technical Advice Note 11 (Noise) advises that *'The Building Regulations impose requirements for sound insulation between dwellings, and were extended to cover sound insulation between converted flats by including provisions that are as close to new build as is practical. The Government considers that the Building Regulations are the most appropriate means of control for sound insulation in such conversions, and should be used in preference to planning condition'*. There are also statutory powers to control noise under the Control of Pollution Act 1990.
- e) Refuse Storage. It is considered that refuse storage containers could be suitably accommodated within the external area at the rear enclosed behind the boundary as detailed within the waste management analysis. It is also noted that refuse storage containers for the existing flats and other dwellings within this street are accommodated within the front forecourts, enclosed by front boundary walls/railings.
- f) Standard of Amenity Space. It is considered that the proposal would provide an adequate standard of amenity for future occupiers as detailed within the above amenity analysis. A private external amenity area would be retained at the rear, accessible by all flats. The provision of flats with mutual overlooking from their shared external amenity area is not uncommon, and is consistent with the existing scenario at this site.
- g) Strain on Utilities/Sewerage System. Connections would be considered by the building regulations procedure, it is not considered that the proposal would cause 'demonstrable' harm to the infrastructure. There is no policy or specific supplementary planning guidance which the Council could rely on to support a refusal.
- h) Planning permission not gained for Existing Flats. Although formal planning permission was not granted for the existing flats, it was established in 2009 that the flats were lawful due to the passage of time.
- i) Fire Exit from Upper Flats: Means of escape is considered by part M of the Building Regulations. Part M is not applicable where there is no material change of use (subdivision of an existing dwelling to flats is not a material change of use), and in such cases requires that any material alterations must

not make the building less satisfactory than it was before. Therefore, provision of a separate fire escape is not required in this instance.

- j) Future use of the flats. Selling or renting of flats is not a material planning matter, there is no planning control upon the length of a tenancy.
- k) Precedent for Further Conversions. All planning applications are considered on their own merit.

8.8 Other Legal Considerations

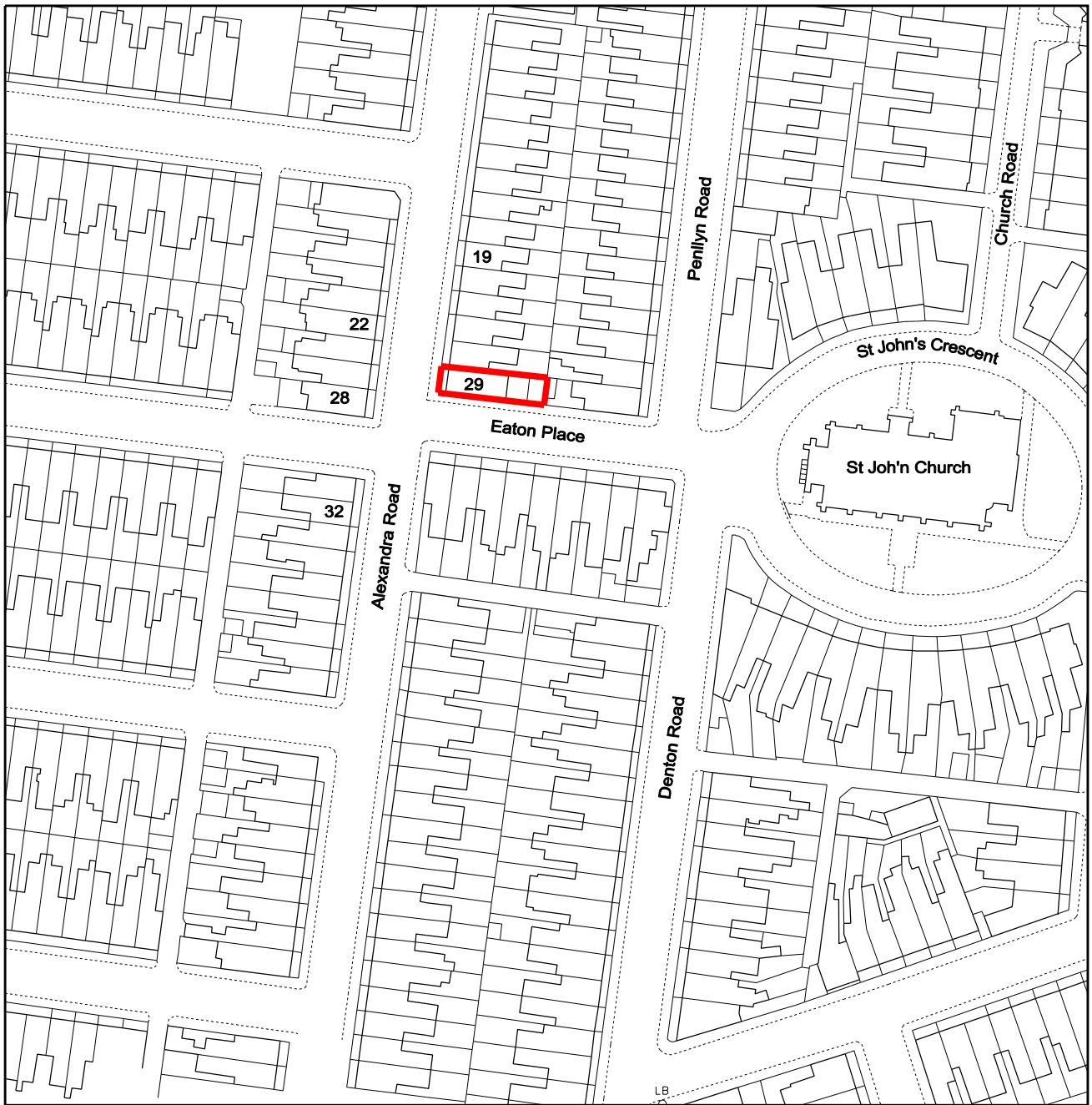
Crime and Disorder Act 1998 – Section 17(1) of the Crime and Disorder Act 1998 imposes a duty on the Local Authority to exercise its various functions with due regard to the likely effect of the exercise of those functions on, and the need to do all that it reasonably can to prevent, crime and disorder in its area. This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable increase in crime and disorder as a result of the proposed decision.

Equality Act 2010 – The Equality Act 2010 identifies a number of ‘protected characteristics’, namely age; disability; gender reassignment; pregnancy and maternity; race; religion or belief; sex; sexual orientation; marriage and civil partnership. The Council’s duty under the above Act has been given due consideration in the determination of this application. It is considered that the proposed development does not have any significant implications for, or effect on, persons who share a protected characteristic.

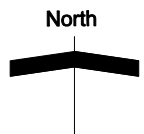
Well-Being of Future Generations Act 2016 – Section 3 of this Act imposes a duty on public bodies to carry out sustainable development in accordance with the sustainable development principle to act in a manner which seeks to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs (Section 5). This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable impact upon the achievement of wellbeing objectives as a result of the recommended decision.

8.9 Conclusion

It is concluded that the application is acceptable in accordance with the planning policies listed, and is recommended that planning permission be granted, subject to conditions.



Location Plan



Site: **29 Alexandra Road,
Cardiff. CF5 1NS**

Title: **Location Plan**

Scale: 1:1250 @ A4
Date: July 2019

Revision:

Drawing No: **L 00**



Proposed Site Plan



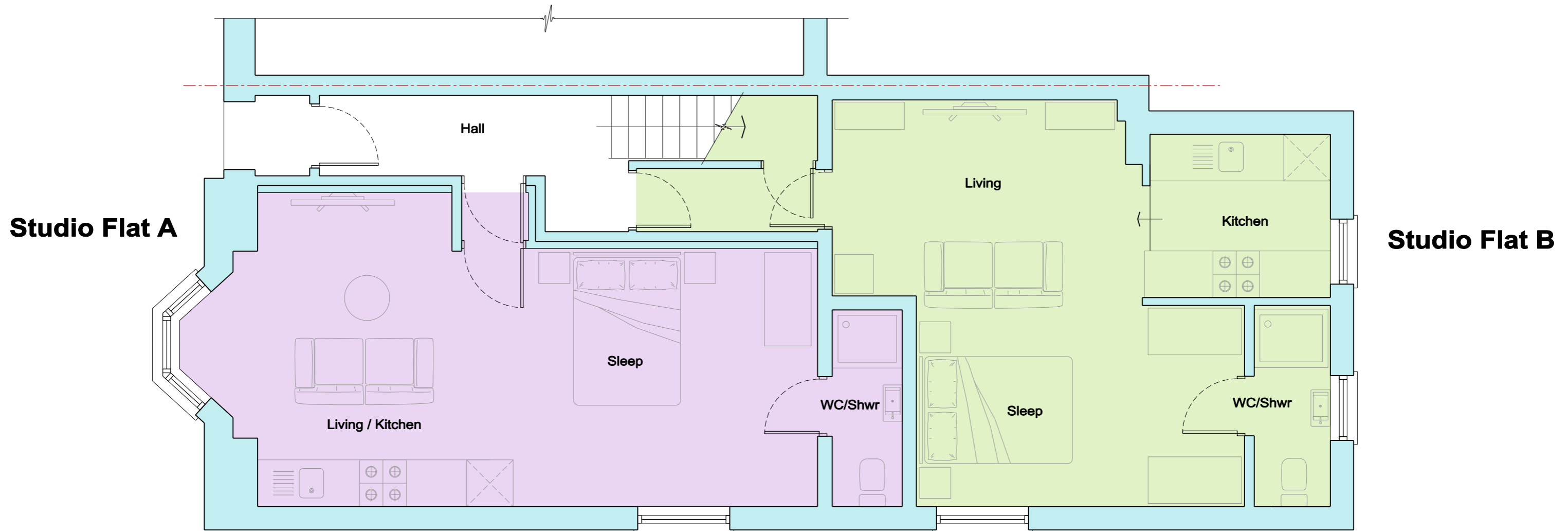
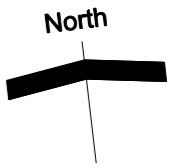
Richard Whitaker Architects Ltd
 43 Plas Saint Andresse
 Penarth Haven
 Penarth
 CF64 1BW
 Tel: 029 2071 2631
 Mob: 0781 8888 070
 Email: mail@richardwhitaker.com

Site: **29 Alexandra Road,
 Cardiff. CF5 1NS**

Scale: 1:250 @ A3
 Date: July 2019
 Revision: A

Title: **Proposed Site Plan**

Drawing No: **483 - P 06**



Proposed Ground Floor Plan

Unit:	Designation:	GIA: M ²
A	Studio Flat	30.8
B	Studio Flat	32.8



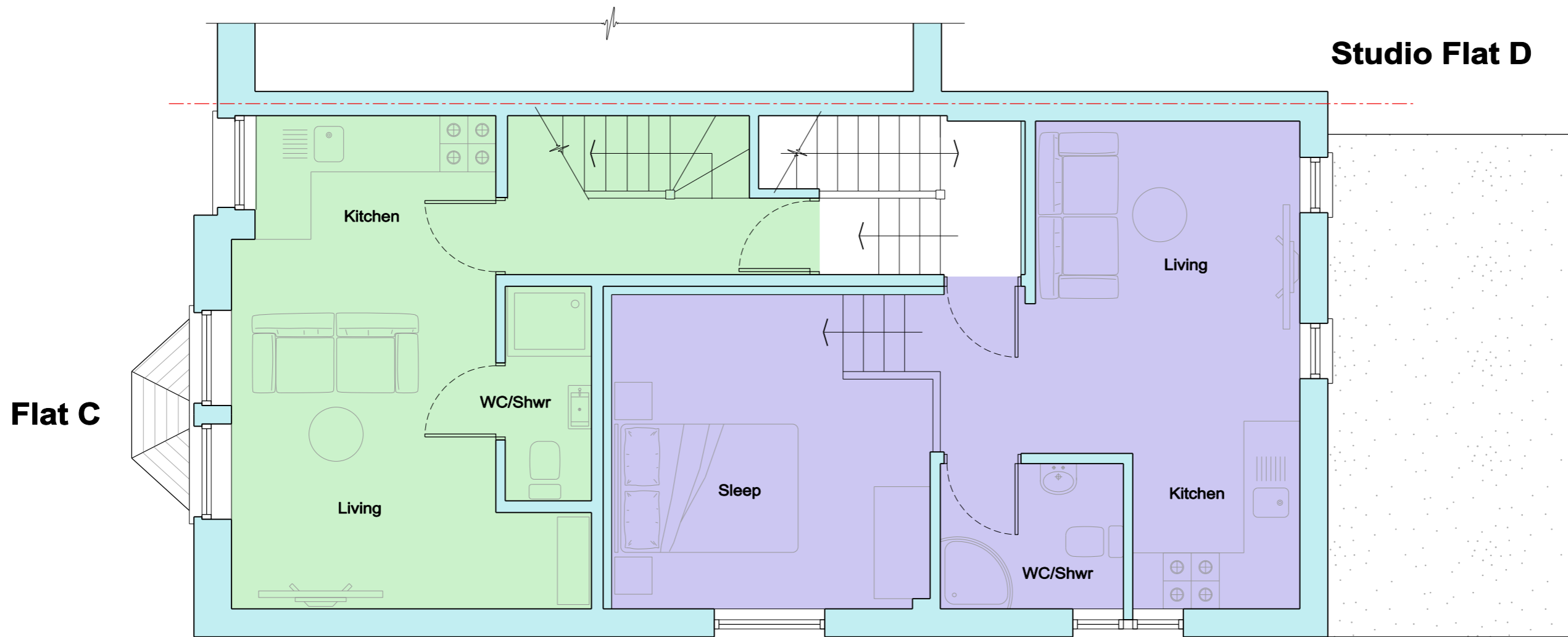
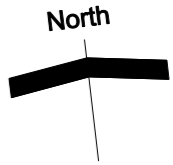
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 43 Plas Saint Andresse
 Penarth Haven
 Penarth
 CF64 1BW
 Tel: 029 2071 2631
 Mob: 0781 8888 070
 Email: mail@richardwhitaker.com

Site: **29 Alexandra Road,
 Cardiff. CF5 1NS**

Scale: 1:50 @ A3
 Date: June 2019

Title: **Proposed Ground
 Floor Plan**

Drawing No: **483 - P 07**



Proposed First Floor Plan

Unit:	Designation:	GIA: M ²
C	1B Flat	43.5
D	Studio Flat	30.3



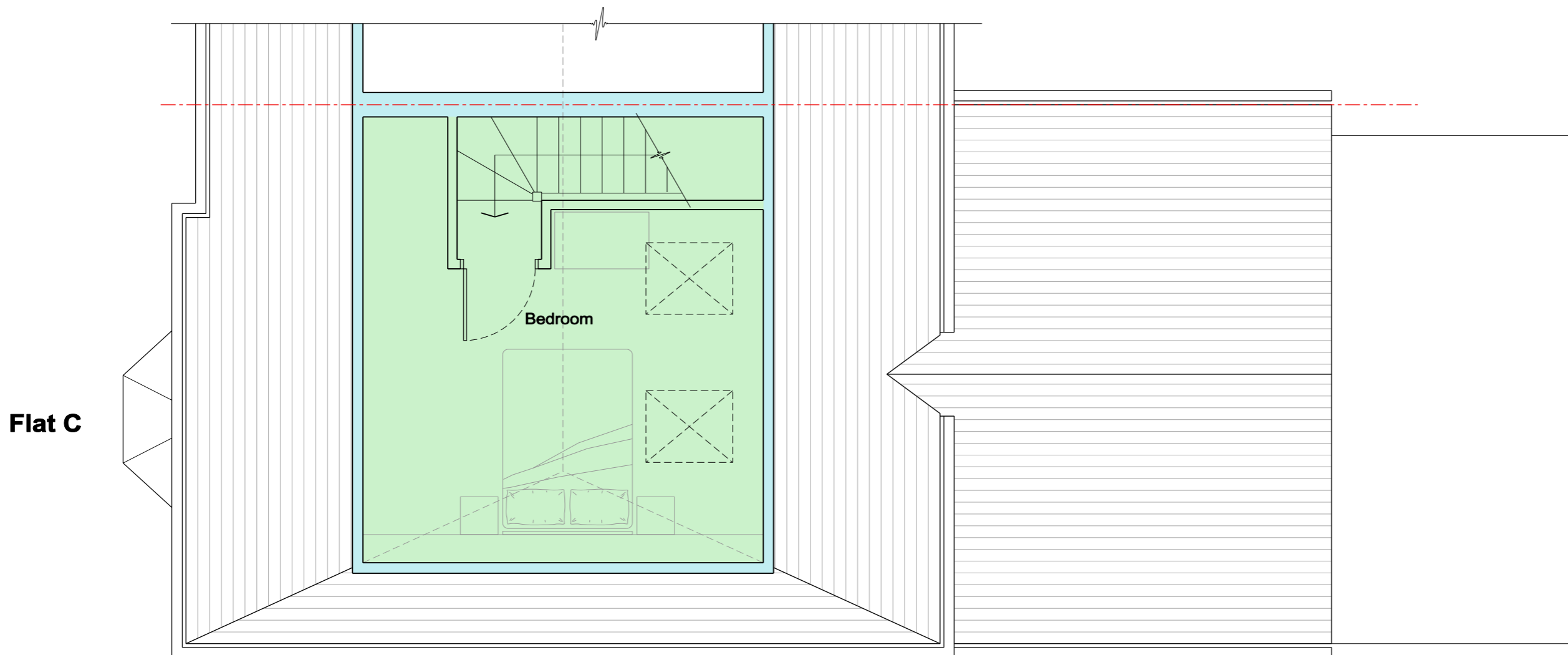
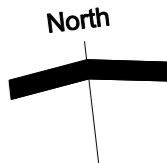
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 43 Plas Saint Andresse
 Penarth Haven
 Penarth
 CF64 1BW
 Tel: 029 2071 2631
 Mob: 0781 8888 070
 Email: mail@richardwhitaker.com

Site: **29 Alexandra Road,
 Cardiff. CF5 1NS**

Scale: 1:50 @ A3
 Date: June 2019

Title: **Proposed First
 Floor Plan**

Drawing No: **483 - P 08**



Proposed Second Floor Plan

 = Roof window over



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Penarth Haven
Penarth
CF64 1BW
Tel: 029 2071 2631
Mob: 0781 8888 070
Email: mail@richardwhitaker.com

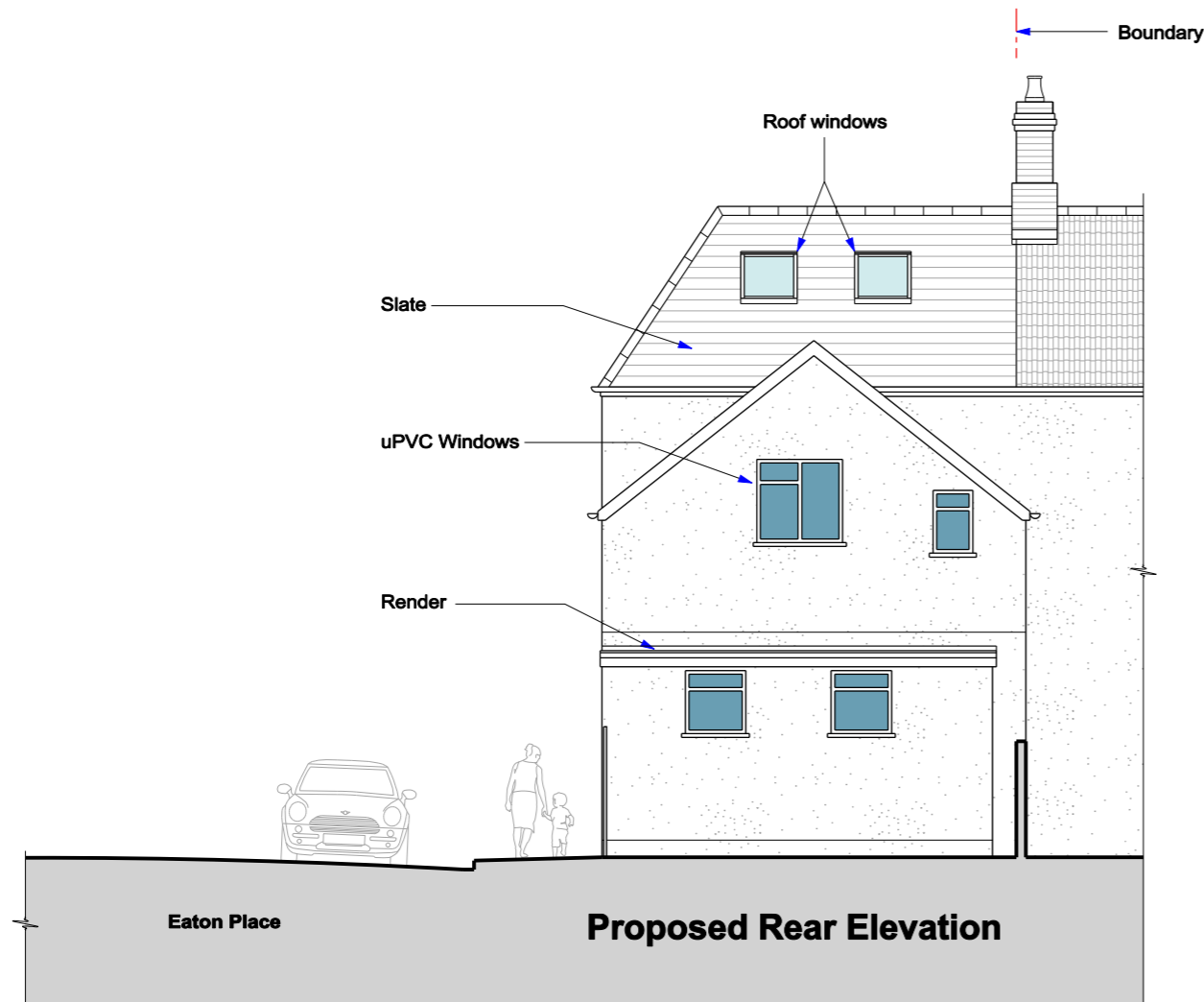
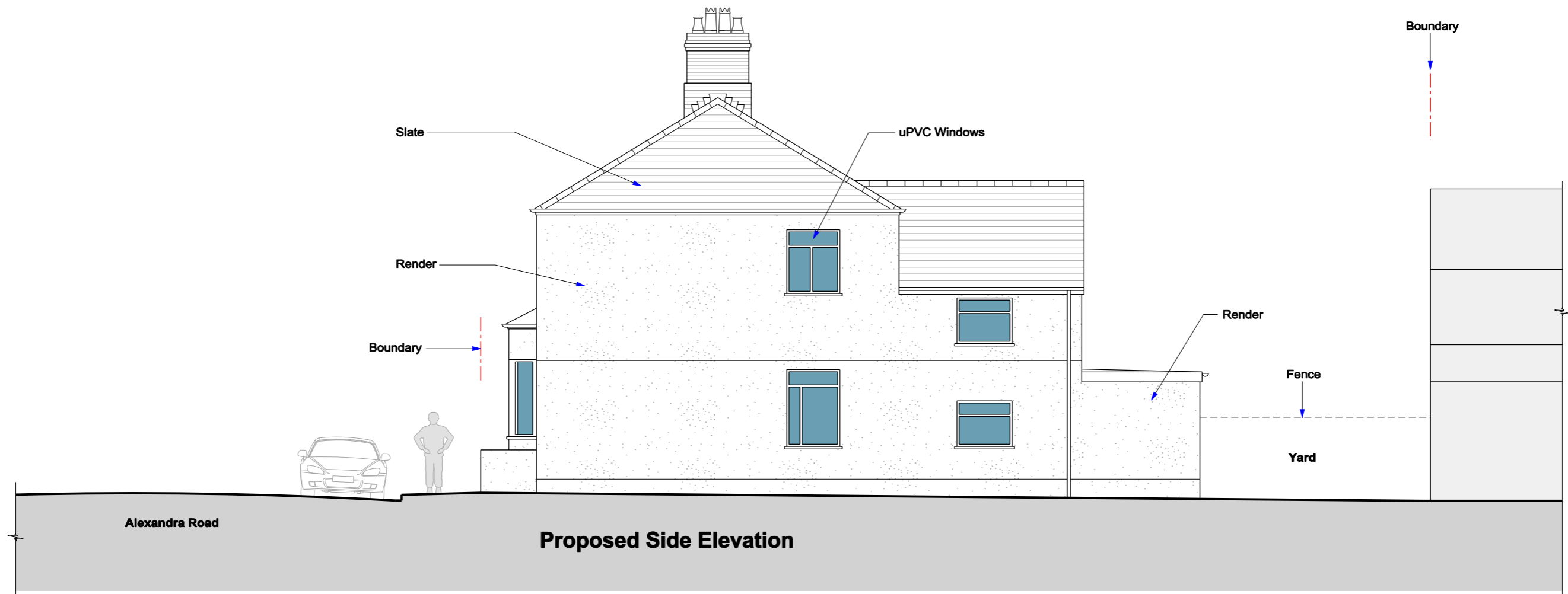
Site: **29 Alexandra Road,
Cardiff. CF5 1NS**

Scale: 1:50 @ A3
Date: June 2019

Revision:

Title: **Proposed Second
Floor Plan**

Drawing No: **483 - P 09**



Richard Whitaker Architects Ltd
 43 Plas Saint Andresse
 Penarth Haven
 Penarth
 CF64 1BW
 Tel: 029 2071 2631
 Mob: 0781 8888 070
 Email: mail@richardwhitaker.com

Site: **29 Alexandra Road,
 Cardiff. CF5 1NS**

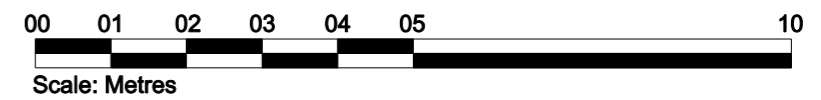
Title: **Proposed Elevations**

Scale:
 1:100 @ A3

Date:
 July 2019

Revision:

Drawing No: **P 10**



LOCAL MEMBER OBJECTION

COMMITTEE DATE: 20/11/2019

APPLICATION No. **19/01917/MNR** APPLICATION DATE: 05/07/2019

ED: **LLANDAFF**

APP: TYPE: Full Planning Permission

APPLICANT: Mr. M. Ashford & Ms. J. Howells Ashford & Howells
 LOCATION: 5A WAUN GRON ROAD, LLANDAFF, CARDIFF, CF5 2JJ
 PROPOSAL: PROPOSED THREE BEDROOM DWELLING EXTENSION TO
 SIDE OF EXISTING MAIN DWELLING

RECOMMENDATION 1 : That planning permission be **GRANTED** subject to the following conditions :

1. C01 Statutory Time Limit
2. The development shall be carried out in accordance with the following approved plans and documents:

0868/19 REV F – Proposed site plan
 0868/20 REV D – Proposed ground floor level plan
 0868/21 REV D – Proposed first floor level plan
 0868/22 REV D - Proposed second floor level plan
 0868/24 REV E – Proposed street view
 0868/25 REV G – Proposed front elevation
 0868/26 REV G – Proposed side elevation
 0868/27 REV G – Proposed rear elevation
 0868/28 REV A – Proposed site boundary elevation
 0868/29 REV A – Proposed garden elevation

Reason: For the avoidance of doubt as to the extent of the permission.

3. No development shall take place until a detailed surface water drainage scheme for the site, based on sustainable drainage principles and an assessment of the hydrological and hydrogeological context of the development, have been submitted to and approved in writing by the Local Planning Authority (LPA) in consultation with the Lead Local Flood Authority. The scheme to be submitted shall:
 - (a) include the results of an infiltration assessment, undertaken in accordance with BRE365 guidance, into the site's potential for the use of infiltration SuDS,
 - (b) include a Design Statement which shall explain the operation of the surface water drainage scheme, outline constraints, identify assumptions/limitations, confirm available data, confirm design

- criteria, provide information about the measures taken to prevent pollution of the receiving groundwater and/or surface waters and demonstrate compliance with CIRIA C753;
- (c) include design details in support of any surface water drainage scheme, including layout plans and cross section drawings, network details, details of any attenuation system and outfall arrangements, and overland flow and modified/ exceedance flow route plans
 - (d) include supporting calculations, which shall demonstrate the performance of the drainage system for a range of return periods and duration inclusive of the 1 in 1 year, 1 in 2 year, 1 in 30 year, 1 in 100 year and 1 in 100 year plus 30% allowance for climate change return periods, demonstrate the proposed allowance for exceedance flow and associated overland flow routing, and demonstrate the structural integrity of all elements under anticipated loading conditions over the design life of the development.

The scheme shall be implemented in accordance with the approved details prior to the occupation of the dwelling.

Reason: In the interests of the proper drainage of the site, in accordance with policy EN10 of the Cardiff Local Development Plan.

4. No development shall take place until details of the implementation, maintenance and management of the sustainable drainage scheme have been submitted to and approved in writing by the local planning authority. The scheme shall be implemented and thereafter managed and maintained in accordance with the approved details. Those details shall include:
- i. A timetable for its implementation;
 - ii. A management and maintenance plan for the lifetime of the development which shall include the arrangements for the adoption by any public body or statutory undertaker, or any other arrangement to secure the operation of the sustainable drainage system throughout its lifetime.

Reason: In the interests of the proper drainage of the site, in accordance with policy EN10 of the Cardiff Local Development Plan.

5. No development shall take place until infiltration testing in accordance with BRE365 guidance has been completed and the results submitted to and approved in writing by the Local Planning Authority. Where groundwater is encountered, a proportionate groundwater assessment, including for long term seasonal monitoring, shall be undertaken to identify the likely risk of groundwater flooding and a scheme to manage and mitigate the risk associated with flooding from this source shall be submitted to and approved in writing by the Local Planning Authority (LPA) in consultation with the Lead Local Flood Authority. The scheme shall be implemented in accordance with the approved details prior to

the occupation of the dwelling.

Reason: In the interests of the proper drainage of the site, in accordance with policy EN10 of the Cardiff Local Development Plan.

6. The development shall not be occupied until facilities for the secure storage of cycles at a rate of at least one cycle space per bedroom have been provided in accordance with details to be submitted to and approved in writing by the local planning authority and the approved facilities shall be retained in perpetuity.

Reason: To ensure that adequate provision is made for the secure parking of cycles in accordance with policies KP5 and T5 of the Cardiff Local Development Plan.

7. Notwithstanding the details shown on the approved proposed site plan, prior to the development hereby permitted being brought into beneficial use provision shall be made for the parking and manoeuvring of vehicles within the site in accordance with details to be submitted to and approved in writing by the local planning authority, such approval to be obtained prior to the commencement of development.

Reason: To ensure that appropriate car parking facilities are provided for the development and that vehicles using the approved facilities can manoeuvre adequately, in accordance with policy T5 of the Cardiff Local Development Plan.

RECOMMENDATION 2: The developer is advised that on the 7th January 2019 Schedule 3 of the Flood and Water Management Act 2010 was enacted. This affects all new developments where the construction area is of 100 square metres or more. Cardiff Council is aware that your application for planning permission was validated after the recent legislative change in which Schedule 3 of the Flood and Water Management Act was enacted and therefore may be subject to surface water drainage proposals under the SAB application process.

It is recommended that the developer engage in consultation with the Cardiff Council SAB team as the determining SuDS Approval Body (SAB) in relation to their proposals for SuDS features. Cardiff Council are aware that this is new legislation and as such we are offering a free pre-application service for the first year. To arrange discussion regarding this please contact SAB@cardiff.gov.uk In the meantime if you require further information please review our website: <https://www.cardiff.gov.uk/ENG/resident/planning-and-suds/suds-approval-body/>

Or, alternatively you can review the legislation set by Welsh Government here: <https://gweddi.gov.wales/topics/environmentcountryside/epq/flooding/drainage/>

RECOMMENDATION 3: The applicant is advised that they may need to apply to Dwr Cymru / Welsh Water for any connection to the public sewer under S106 of the Water industry Act 1991. If the connection to the public sewer network is either via a lateral drain (i.e. a drain which extends beyond the connecting property boundary) or via a new sewer (i.e. serves more than one property), it is

now a mandatory requirement to first enter into a Section 104 Adoption Agreement (Water Industry Act 1991). The design of the sewers and lateral drains must also conform to the Welsh Ministers Standards for Gravity Foul Sewers and Lateral Drains, and conform with the publication "Sewers for Adoption"- 7th Edition. Further information can be obtained via the Developer Services pages of www.dwrcymru.com. The applicant is also advised that some public sewers and lateral drains may not be recorded on maps of public sewers because they were originally privately owned and were transferred into public ownership by nature of the Water Industry (Schemes for Adoption of Private Sewers) Regulations 2011. Under the Water Industry Act 1991 Dwr Cymru Welsh Water has rights of access to its apparatus at all times.

RECOMMENDATION 4: The applicant is advised that the property will require the following for recycling and waste collections: 1 x 140 litre black bin for general waste; 1 x 240 litre green bin for garden waste; 1 x 25 litre kerbside caddy for food waste; green bags for mixed recycling (equivalent to 140 litres), the storage of which must be sensitively integrated into the design. The kitchen should be designed to allow the separation of waste into three waste streams; general, recycling and food waste, in order to encourage the correct disposal of waste. The developers of all new residential units are required to purchase the bin provision required for each unit. The bins have to meet the Council's specifications and can be purchased directly by contacting the Waste Management's Commercial Team on 029 20717500. Further information regarding waste/recycling and the types of bins required is available in the Supplementary Planning Guidance "Waste Collection and Storage Facilities", which can be found on the Council's website.

1. **DESCRIPTION OF PROPOSED DEVELOPMENT**

- 1.1 The application is for full planning permission for the addition of a three storey extension to the side of an existing semi-detached three storey house to provide a separate dwelling, the third storey being located partly within the roof space to match the adjoining property.
- 1.2 The house would be located on the site of an existing double garage within a 10m wide gap between two large dwellings, both of which contain separate self-contained flats. The space to the front of the new dwelling would remain as a shared parking area for up to 4 cars.
- 1.3 The extension would be aligned with the front elevation of the existing house and set back slightly from the rear elevation. The front would feature a gable with tile cladding in a design to match the existing gables on the front elevations of the semi-detached houses to which it would be attached. Fenestration and architectural detailing would also match the adjoining properties and the ridge height would be continuous. There would be a single storey lean-to extension along the side elevation, extending up to the side boundary with no. 3 Waungron Road, and a walkway running through the building providing access to the rear of 5 Waungron Road and to the side entrance to the existing flats within that property. The gap between the taller part of the new building and the side of no. 3 Waungron Road would be approximately 3m.

- 1.4 To the rear around 56 square metres of the existing garden would be fenced off to provide a separate garden/patio area. The existing rear stone boundary wall and front boundary hedge would remain.

2. **DESCRIPTION OF SITE**

- 2.1 The application site lies on the southern side of Waungron Road, within the curtilage of no. 5 and within a 10m wide gap between numbers 3 and 5. It is currently occupied by a detached 5.5m wide x 5.5m long single storey double garage with a double-pitched roof. A low level stone wall and mature hedge runs along the front garden boundary.
- 2.2 The existing properties on this part of Waungron Road are large, detached and semi-detached, 2 and 3 storey dwellings dating from the early 20th century. Waungron Road at this point is divided into two lanes running either side of a tree lined central verge and the houses on the northern side are of a smaller scale and are similar in design. Those on the Southern side are larger and of more varied designs, and are constructed of a mixture of stonework, facing brick, decorated render and clay hanging tiles with slate, clay and concrete tile pitched roofs. Several have been converted to separate flats.
- 2.3 5 Waungron Road is a 10.4m wide, semi-detached, three storey residential property containing 3 flats. It has a hipped roof, a projecting front gable with double pitched roof, a flat roofed dormer to the side elevation, single storey rear extensions, a rear balcony and access stair and rear dormers. It is finished in a mixture of red clay brick, white painted render, dressed stone, random grey stone and red clay hanging tiles. The roof is finished in red profile concrete tiles. To the rear is a triangular-shaped shared garden area measuring around 130 square metres.

3. **SITE HISTORY**

- 3.1 18/03067/MNR – Proposed new three bedroom dwelling on site of existing double garage. Refused – 1) visually incongruous feature, out of scale and out of character with existing development in the locality; 2) insufficient outdoor amenity space; 3) adverse impact on window in side elevation of 3 Waungron Road.
- 3.2 08/02021/W – Extension to first floor balcony (5b Waun Gron Road)
- 3.3 01/01287/W – Open sundeck off kitchen at rear of first floor flat, to join existing first floor landing and stairs. (5b Waun Gron Road)

4. **POLICY FRAMEWORK**

- 4.1 *Cardiff Local Development Plan 2006-2021:*
KP5 (Good Quality and Sustainable Design);
KP13 (Responding to Evidenced Social Needs);
KP15 (Climate Change);

KP16 (Green Infrastructure);
EN10 (Water Sensitive Design);
T5 (Managing Transport Impacts);
C3 (Community Safety/Creating Safe Environments);
W2 (Provision for Waste Management Facilities in Development

4.2 *Supplementary Planning Guidance:*

Waste Collection and Storage Facilities (October 2016);
Cardiff Infill Sites (November 2017);
Cardiff Residential Extensions and Alterations (November 2017);
Managing Transportation Impacts (Incorporating Parking Standards)
(2018).

4.3 *Planning Policy Wales (Edition 10 – December 2018):*

2.2 All development decisions, either through development plans policy choices or individual development management decisions should seek to contribute towards the making of sustainable places and improved well being.

3.4 Meeting the objectives of good design should be the aim of all those involved in the development process and applied to all development proposals, at all scales.

3.6 Development proposals must address the issues of inclusivity and accessibility for all.

3.9 The layout, form, scale and visual appearance of a proposed development and its relationship to its surroundings are important planning considerations.

3.11 Local authorities are under a legal obligation to consider the need to prevent and reduce crime and disorder in all decisions that they take.

4.1.31 Planning authorities must ensure new housing, jobs, shopping, leisure and services are highly accessible by walking and cycling.

4.1.34 New development must provide appropriate levels of secure, integrated, convenient and accessible cycle parking and changing facilities. As well as providing cycle parking near destinations, consideration must also be given to where people will leave their bike at home.

4.1.36 Planning authorities must direct development to locations most accessible by public transport. They should ensure that development sites which are well served by public transport are used for travel intensive uses, such as housing, jobs, shopping, leisure and services, reallocating their use if necessary.

4.1.52 Planning authorities must require good standards of car parking design, which do not allow vehicles to dominate the street or inconvenience people walking and cycling. Car parking should be overlooked by surrounding properties, to provide natural surveillance.

4.1.53 Parking standards should be applied flexibly and allow for the provision of lower levels of parking and the creation of high quality places.

4.2.22 Planning authorities will need to ensure that in development plans and through the development management process they make the most efficient use of land and buildings in their areas. Higher densities must be encouraged on sites in town centres and other sites which have good

walking, cycling and public transport links.

4.2.23 Infill and windfall sites can make a useful contribution to the delivery of housing. Proposals for housing on infill and windfall sites within settlements should be supported where they accord with the national sustainable placemaking outcomes.

5.12.9 Adequate facilities and space for the collection, composting and recycling of waste materials should be incorporated into the design and, where appropriate, layout of any development as well as waste prevention measures at the design, construction and demolition stage.

6.6.19 Development proposals should incorporate design for surface water management, based on principles which work with nature to facilitate the natural functioning of the water cycle, providing issues such as land contamination would not result in the mobilisation of contaminants which may have an impact over a wider area.

4.4 *Technical Advice Note 12 - Design (March 2016).*

5. **INTERNAL CONSULTEE RESPONSES**

5.1 *Transportation:* No comments received.

5.2 *Drainage:* Recommend deferring the application until full drainage details are submitted or imposing conditions requiring the approval of a scheme for the disposal of surface water including an assessment of the potential disposal of surface water via sustainable means.

5.3 *Waste Strategy & Minimisation Officer:* The property will require the following for recycling and waste collections: 1 x 140 litre black bin for general waste; 1 x 240 litre green bin for garden waste; 1 x 25 litre kerbside caddy for food waste; green bags for mixed recycling (equivalent to 140 litres). The kitchen should be designed to allow the separation of waste into three waste streams; general, recycling and food waste, in order to encourage the correct disposal of waste.

6. **EXTERNAL CONSULTEES RESPONSES**

6.1 *Welsh Water:* Cannot support the application in full in the absence of a surface water strategy in which an assessment is undertaken to explore the potential to dispose of surface water by sustainable means. If permission is to be granted, request a condition requiring the approval of an appropriate drainage scheme. The applicant may need to apply to Dwr Cymru / Welsh Water for any connection to the public sewer.

7. **REPRESENTATIONS**

7.1 The application has been advertised by neighbour notification. 3 letters of objection have been received from occupiers of the adjoining flats at 3, 3a and 3c Waungron Road. Their grounds for objection are –

- 1) The development should not be described as an extension – there is no interconnection and it is not ancillary to the existing building;
- 2) The development would be out of keeping with the building line and

- character of existing buildings as it would create a terraced property;
- 3) The building would occupy a footprint twice that of the garage it would replace;
 - 4) The development would have even less amenity space than the previous proposal that was refused;
 - 5) Loss of space on the site frontage for the storage of bins for no.5 as well as the new development;
 - 6) Loss of sunlight to the side of no. 5. Residents will have to enter and leave the building via a tunnel;
 - 7) Loss of amenity to No. 3 Waungron Road. The building will be too close to the neighbours' front entrance;;
 - 8) Inadequate parking provision;
 - 9) Parking areas are not allocated therefore there will be uncertainty over usage and responsibility for upkeep etc.;
 - 10) The building would be overbearing and overshadowing.

7.2 Councillor Philippa Hill-John objects to the application as follows, and requested that the application be put before the planning committee to take into consideration the previous recommendation for refusal and to assess whether the proposed new application has addressed the previous points.

- Whilst the proposal is now attached it is only in external structural entities. They are still separate dwellings. It would become a semi-detached residence.
- The proposed accommodation is double in size. It is still 'visually incongruous, out of scale and character' within this locality.
- The amenity space will in fact be less than that proposed previously which was one of the reasons for refusal.
- The refuse bins currently are at the front of the building and will now have to be stored elsewhere to accommodate parking.
- Currently 2 vehicles can be parked at the front with the further 2 vehicles parked on the roadside. The current proposal further reduces the hard stand area.
- SPG reference to infill sites is not satisfied with this proposal. (para 4.11/ 4.17). To construct a 3 storey, 3 bed house into this profile of distinguished Edwardian properties is an over development of this site.
- Consideration needs to be given to the loss of amenity and current levels of natural light available particularly for the future residents of number 5 which will be reduced to a ' tunnel ' access in close proximity to number 3.

7.3 The Llandaff Society objects to the application as follows:

- No: 5 Waungron Road is one of a line of distinguished Edwardian houses that form a pleasing area of townscape in this prominent location in Llandaff.
- Llandaff Society do not object in principle to an extension to no: 5, but we do object to the current proposal, as it does not resolve the considerable design and layout challenges of doing this.
- The applicants are seeking to cram a 3 storey, 3 bedroom house into an irregular gap previously occupied by a double garage and side porch. We are concerned that the current proposal would comprise

over-development of the plot and frontage, would impact negatively on this fine Edwardian house and neighbouring properties, and could compromise the safety and well-being of future residents.

- 7.4 Their particular concerns are:
- (i) the mis-match in alignment of the windows and doors on the frontage of the existing and proposed properties;
 - (ii) the lean-to extension forming the proposed entrance to No: 5A runs up to the boundary of the plot, which is un-neighbourly and could restrict access to the rear garden for fire crews - it should be checked out for fire safety;
 - (iii) the inadequate access provided via a tunnel-like corridor into the existing flats in No: 5;
 - (iv) the multiple Velux windows on the front, side and rear elevations which would be out of character and visually intrusive.

For the above reasons we request that this application be refused.

- 7.5 A neighbour has also written to point out that the proposed forecourt area is "scarcely 60 square metres" and quotes the Access, Circulation and Parking Standards SPG paragraph 3.2.6 which states "In grouped parking areas the average requirement per car including space for access is 20 square metres". The neighbour goes on to say "Theoretically the area could possibly allow three parking spaces. However this takes no account of the passageways required to allow access to both the existing property and the proposed new property. In practical terms the area is sufficient for only two vehicles, as at present."

8. **ANALYSIS**

- 8.1 The application proposes the erection of a dwelling house contained within a side extension within a gap site between two existing buildings and is a re-submission following the refusal of an application for a separate house on the same site (reference 18/03067/MNR) which was refused because it was considered to be a visually incongruous feature, out of scale and out of character with existing development in the locality, provided insufficient outdoor amenity space, and would have an adverse impact on a window in the side elevation of 3 Waungron Road. The main issues of concern are the impact on the street scene and on the amenities of neighbouring residents and future occupiers of the development, and whether the previous concerns have been overcome.

- 8.2 The site is within an established residential area therefore there are no objections to the principle of residential development. The adopted Supplementary Planning Guidance "Infill Sites" (para. 2.13) states that :

"It is important to strike a balance between maintaining the established positive character of a residential street and introducing additional housing. To avoid a 'town cramming' effect, any proposals must:

- *Maintain a useable amenity space or garden for new as well as any existing dwellings/ occupiers.*
- *Maintain an established spacing between buildings that respects the*

- *pattern of layout in the vicinity of the site.*
- *Maintain appropriate scale and massing which respects buildings in the vicinity of the site.*
- *Respect the building line and be of a design which complements the existing street scene.”*

8.3 The proposed development is considered to have overcome the objections to the previous application in respect of these issues:

- an adequate amount of outdoor amenity space (90 square metres) would remain for the existing flats at 5A Waungron Road, and a satisfactory amount of outdoor space (56 square metres) would be provided for the new dwelling. The previous proposal included only 32 square metres of amenity space.
- the spacing between the dwellings will be narrowed at this point but, as the proposed dwelling would be in the form of an extension rather than the separate new building previously proposed, this will not have such a detrimental impact on the street scene and the character of the area and is considered, on balance, to be acceptable.
- the scale and massing of the building will harmonise with existing development in the area, particularly the large extended semi-detached dwellings adjacent at 1-3 Waungron Road. Paragraph 3.18 of the Infill Sites SPG requires infill development to “take account of and respond to existing building heights (number of storeys and floor to ceiling heights), scale and massing of buildings in the street.” Paragraph 3.13 states that “*the fenestration of new developments should complement the size, proportions, design and rhythm of detailing of neighbouring properties. The roofline should include appropriate design and pitch of roofs, ridge height, eaves level, and notice taken of any other relevant details in the street scene.*” The proposed development, unlike the previously-proposed detached dwelling, is considered to comply with these criteria.
- the extension will respect the existing building line and is designed to match the detailing and materials used in the original development.

8.4 The previous proposal was considered to have an unacceptable impact on the amenities of neighbouring residents as the building would have been located at a distance of less than 2 metres from a large obscurely glazed first floor window which gives light into the side elevation of no. 3 Waungron Road. The current proposals have moved the side elevation of the proposed extension further from the boundary with no. 3 above ground floor level so that there will now be a gap of 3 metres between the side elevation and the window. Although the proposed development still does not comply with the “25 degree rule” set out in the Infill Sites SPG (i.e. it breaks a line projecting up from the centre of the relevant window 25 degrees from the horizontal) it should be noted that this rule applies to habitable rooms which are “main daytime living spaces”. In this case, the increase in the gap between the buildings is considered, on balance, to

have overcome the previous concerns that the development would have had an overly oppressive impact on the neighbouring dwelling.

8.5 The development can provide adequate off-street car parking facilities on the site frontage in accordance with the adopted “Managing Transportation Impacts” SPG. No details of cycle storage facilities are included with the application; however, there would be access from the front of the site to the rear where there would be space for cycle parking (as well as additional and relocated bin storage) therefore these details could be required to be submitted for approval via a planning condition.

8.6 With regard to the objections received –

- 1) The development is in the form of an extension to the existing building therefore its description is considered appropriate. The description makes it clear that the proposal is for a three bedroom dwelling. There are no planning policies that would indicate that the dwelling would have to be ancillary to the existing building.
- 2) The resulting building will be around 27m wide and as this is slightly narrower than the existing dwellings at 1-3 Waungron Road it is not considered that it will appear as an incongruous terrace. The existing materials and detailing will be replicated to ensure that it matches the character of the original building, and it does not breach the existing building line.
- 3) It is not necessary for any development on this site to remain within the footprint of the building that it will replace. For the reasons given above it is considered that the size of the proposed extension is acceptable.
- 4) The layout plan shows that the dwelling will have more amenity space than was previously proposed.
- 5) Bins can be stored at the rear of the site if necessary. The Waste Management officer has raised no objections to the development.
- 6) Internal rearrangements can ensure that adequate sunlight still reaches the rooms within no. 5 and residents will access the building from the front via a covered, gated entrance rather than a “tunnel”.
- 7) The impact on no. 3 is discussed above. The front of no. 3 is unaffected and the side access will be adjacent to the single storey element of the development which will not appear unduly oppressive.
- 8) Adequate parking facilities are proposed. This is discussed elsewhere in this report. Additional details of the parking arrangements, to ensure that vehicles can manoeuvre properly into and out of the spaces, can be required via a planning condition.
- 9) This is not a material planning consideration but is a matter for residents or managers of the development to resolve.
- 10) The development would not appear overbearing and would not result in unacceptable overshadowing given its location to the north of the amenity space at the rear of the site and the fact that it would not project beyond the existing rear building line.

8.7 Councillor Philippa Hill-John’s objections are addressed above, in the responses to the neighbours’ concerns.

- 8.8 In response to the concerns of the Llandaff Society:
- (i) The applicant submitted amended plans which address the issue of the alignment of the windows in the front elevation;
 - (ii) There are many examples elsewhere of single storey extensions running up to a side boundary – this is not necessarily unacceptable from a design viewpoint. The impact on neighbouring occupiers is discussed above, and the issue of fire safety is covered by the Building Regulations.
 - (iii) The issue of the access to the flats is discussed above.
 - (iv) There will be only two rooflights on the front elevation, which will not appear out of keeping in the street scene. The two rooflights in the side elevation and one on the rear will not be easily scene from public views.
- 8.9 The neighbour's concerns about the size of the parking area are noted. However, the SPG quoted is not relevant as it has been superseded by the "Managing Transportation Impacts (Incorporating Parking Standards)" SPG (April 2018) which contains no minimum standards for numbers of parking spaces and states that *All off-street car parking spaces should have minimum dimensions of 5.0m x 2.5m (Manual for Streets 2007), with a minimum manoeuvring space of 6.0m behind a car parking bay.* (para. 6.31). The parking spaces in the arrangement shown on the plans would have a manoeuvring area of only 4.5m if the whole of the front forecourt was used for parking. However, as there is no minimum requirement for numbers of spaces, it is not necessary to use the whole area for parking. Two spaces could be provided (which is the maximum permitted for the new development in accordance with the current SPG) with the recommended 6m manoeuvring space. On-street parking would also be available for the existing flats as well as for the new development. To clarify the situation with regard to the numbers of spaces provided and to ensure that the spaces will be useable, additional details can be required via a planning condition.
- 8.10 In conclusion, it is considered that the proposals have overcome the objections to the previous application and that there are no reasonable grounds for refusal of this application. It is recommended that permission is granted subject to conditions as set out above.

9. OTHER CONSIDERATIONS

9.1 *Crime and Disorder Act 1998*

Section 17(1) of the Crime and Disorder Act 1998 imposes a duty on the Local Authority to exercise its various functions with due regard to the likely effect of the exercise of those functions on, and the need to do all that it reasonably can to prevent, crime and disorder in its area. This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable increase in crime and disorder as a result of the proposed decision.

9.2 *Equality Act 2010*

The Equality Act 2010 identifies a number of 'protected characteristics', namely age; disability; gender reassignment; pregnancy and maternity; race; religion or

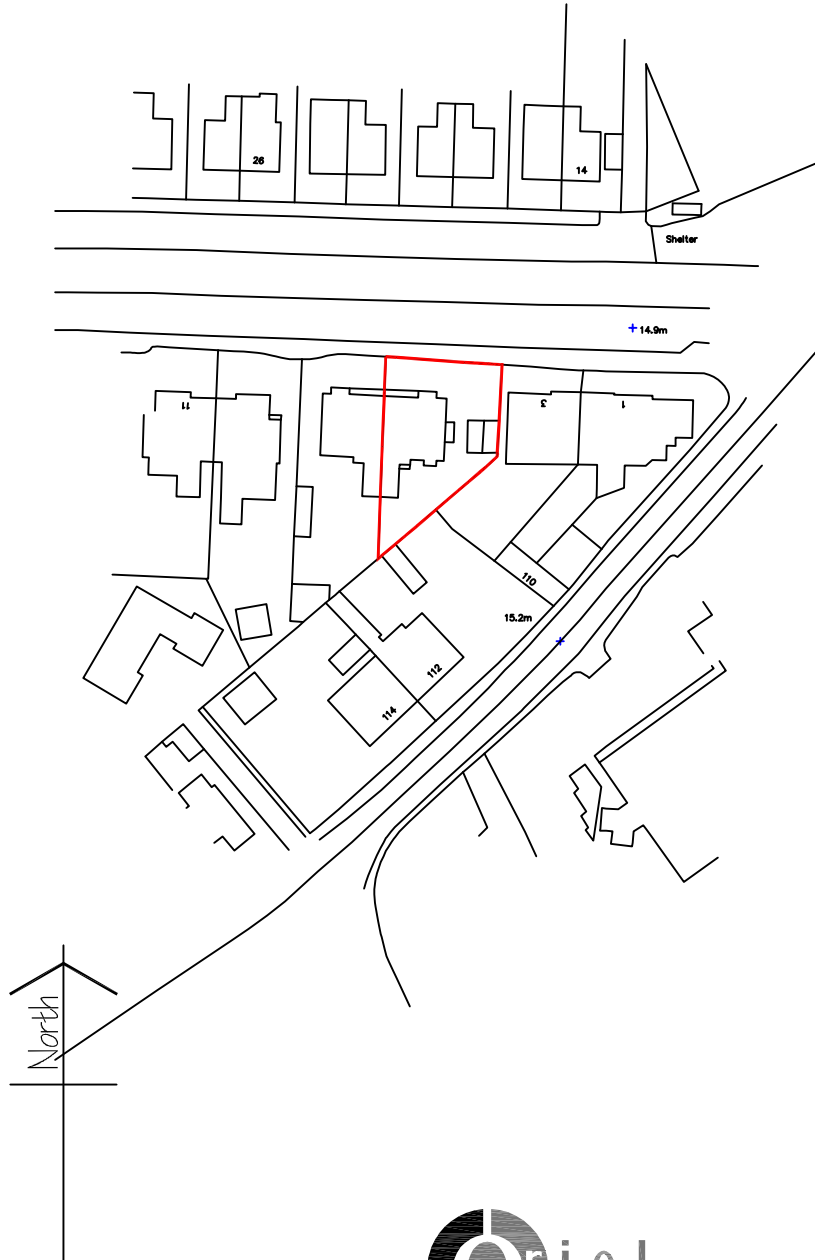
belief; sex; sexual orientation; marriage and civil partnership. The Council's duty under the above Act has been given due consideration in the determination of this application. It is considered that the proposed development does not have any significant implications for, or effect on, persons who share a protected characteristic, over and above any other person.

9.3 *Well-being of Future Generations (Wales) Act 2015*

The Well-being of Future Generations (Wales) Act 2015 places a duty on the Welsh Ministers (and other public bodies) to produce well-being objectives and take reasonable steps to meet those objectives in the context of the principle of sustainable development. The duty to improve the economic, social, environmental and cultural well-being of Wales, in accordance with the sustainable development principle, under section 3 of the Well-Being of Future Generations (Wales) Act 2015 (the WBFG Act), has been considered and account has been taken of the ways of working set out at section 5 of the WBFG Act in the determination of this application, and it is considered that this decision is in accordance with the sustainable development principle through its contribution towards one or more of the well-being objectives referred to in section 9 of the WBFG Act.

REVISIONS

Rev:



Registered Architects
Project Managers
Residential Collaborative

ORIEL DESIGN LIMITED
Ty Cefn, Rectory Road, Cardiff, CF5 1QL
tel: 029 2038 8663 email: info@orielarchitects.co.uk

PROP. RESIDENTIAL DEVELOPMENT
5, WAUN-GRON ROAD,
CARDIFF.

SITE LOCATION PLAN

Drg. No. 0830/08 | Rev: | Scale: 1:1250@A4 | Date: Nov. 2018

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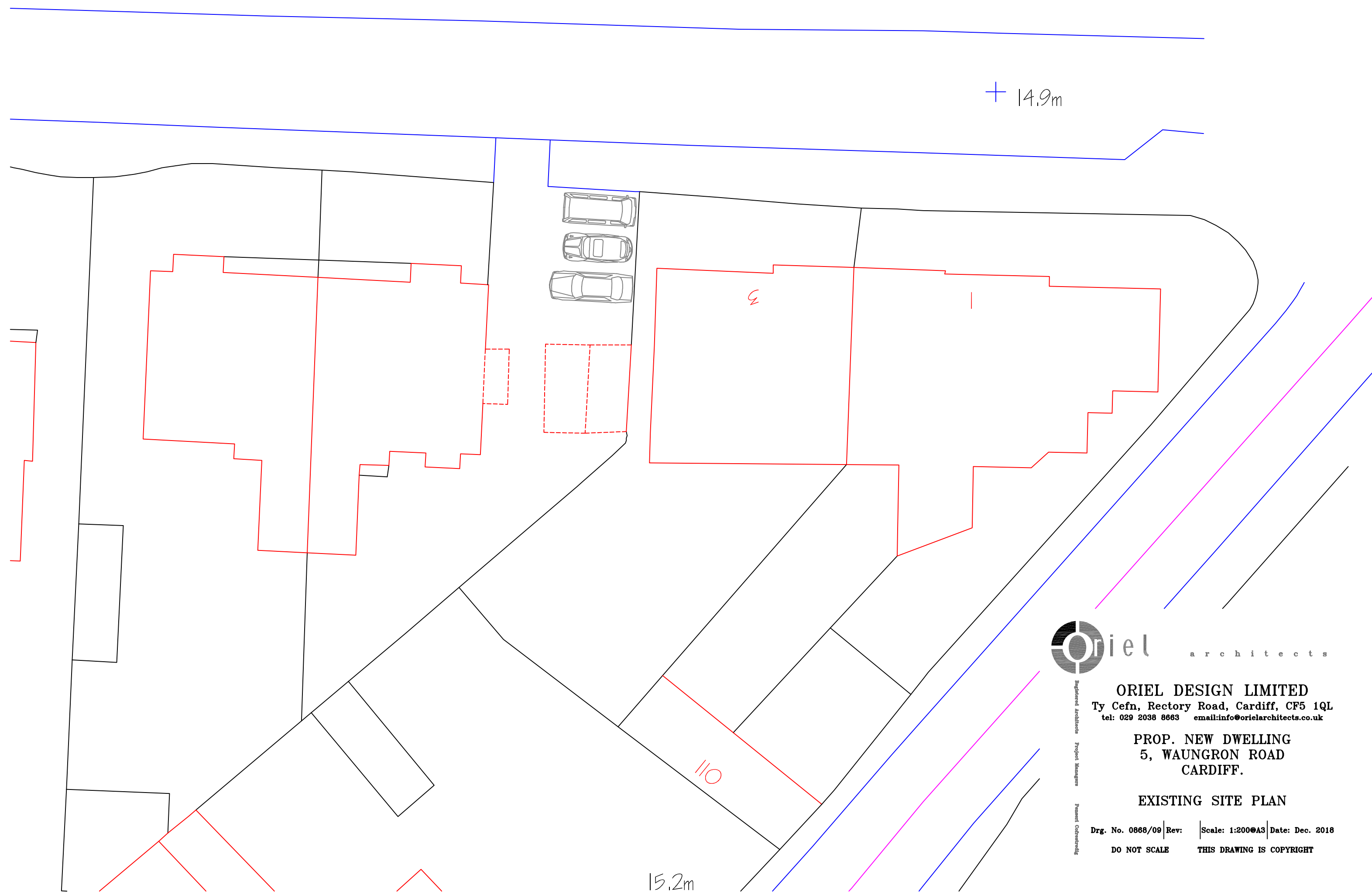






REVISIONS
Rev:

+ 14.9m



ORIEL DESIGN LIMITED
Ty Cefn, Rectory Road, Cardiff, CF5 1QL
tel: 029 2038 8663 email: info@orielarchitects.co.uk

**PROP. NEW DWELLING
5, WAUNGRON ROAD
CARDIFF.**

EXISTING SITE PLAN

Drg. No. 0868/09 | Rev: | Scale: 1:200@A3 | Date: Dec. 2018

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15.2m

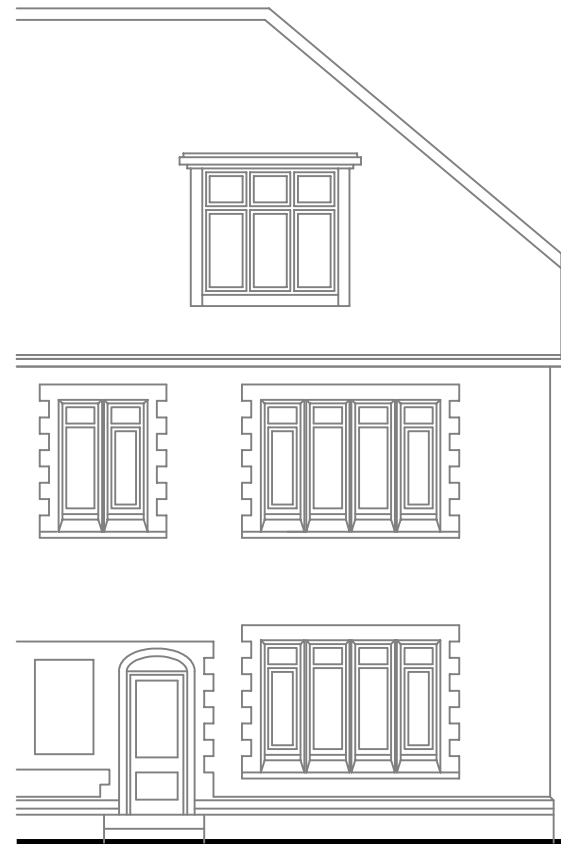
110

Existing main dwelling roof finished in red clay tiles with red vee shaped ridge tiles, Verge, eaves and soffits finished in white painted timberwork with white half round gutters and downpipes.

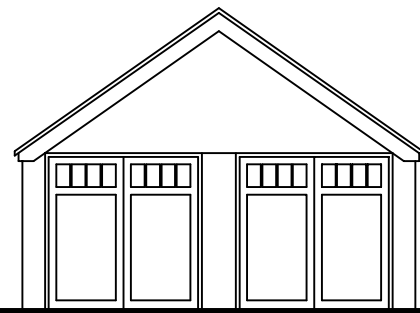
Dormer roof white painted timberwork with black painted eaves board and flat roof. Side facing windows white UPVC units with side hung opening lights.

Existing elevations finished in random course stonework, dressed stone window surrounds, red clay facing brickwork corner features, red clay tile hanging and white painted rough cast render.

Existing windows and doors grey painted timber units with top and side hung opening lights.



3 Waungron Road



Double Garage



5 Waungron Road

7 Waungron Road

Waungron Road Street View

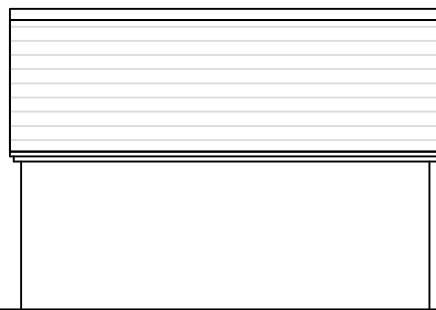
Existing detached double garage finished in red clay tile roofing with grey painted timber fascias, soffits and eaves boards.

Existing walls white painted rough cast render.

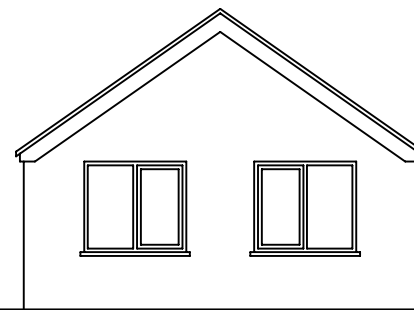
Windows and doors grey painted timber.



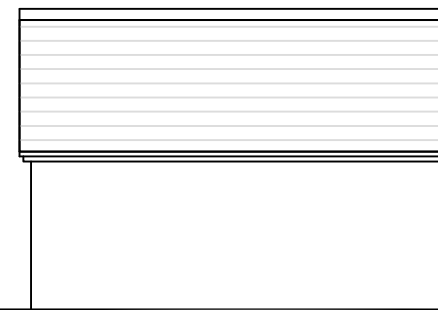
Front Elevation



Side Elevation 1



Rear Elevation



Side Elevation 2

Existing Double Garage Elevations.



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 Ty Cefn, Rectory Road, Cardiff, CF5 1QL
 tel: 029 2038 8663 email: info@orielarchitects.co.uk

PROP. NEW DWELLING
5, WAUNGRON ROAD
CARDIFF.

EXISTING STREET VIEW

Drg. No. 0868/14 | Rev: A | Scale: 1:100@A3 | Date: Dec. 2018

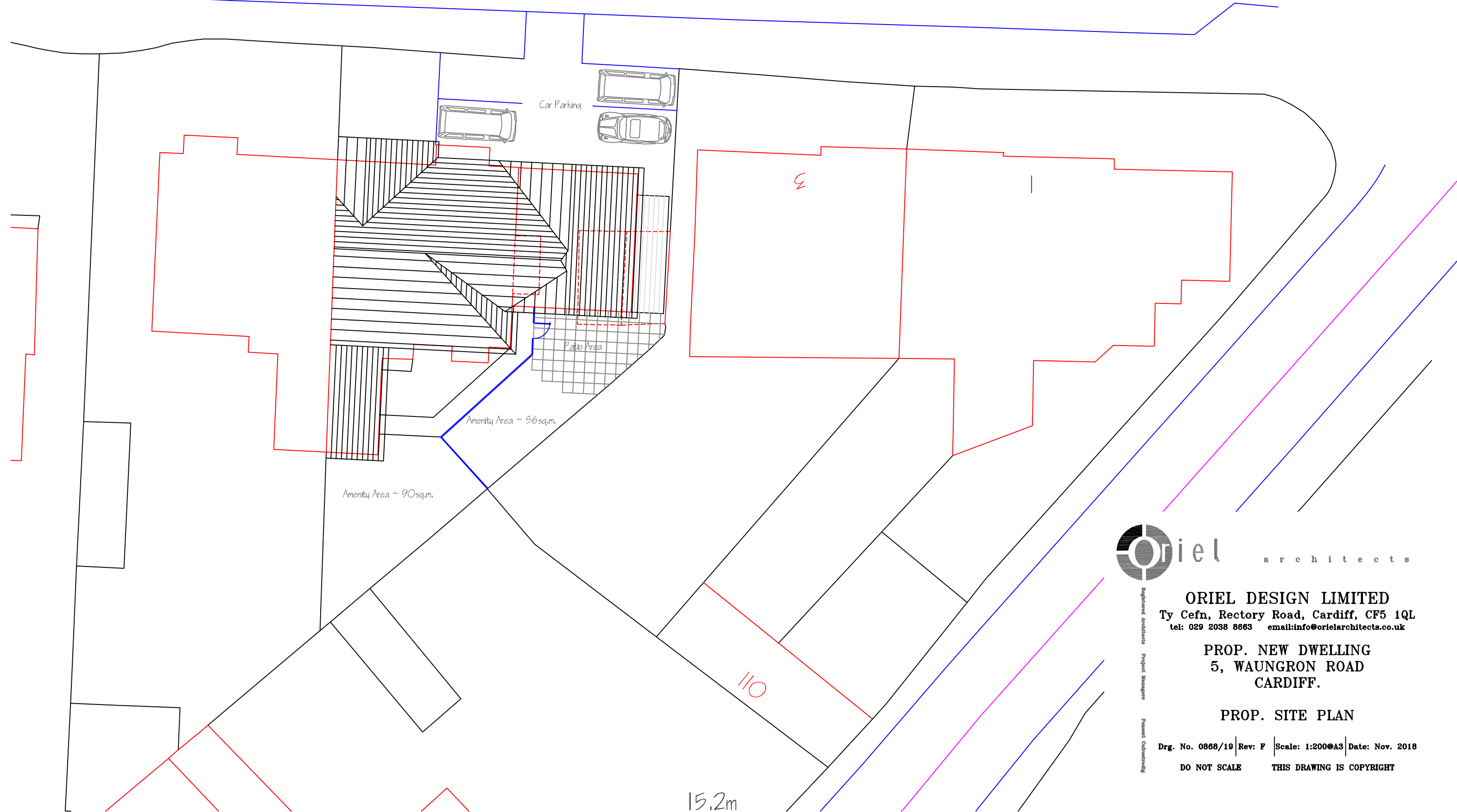
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Registered Architects Project Managers

REVISIONS

- Rev: A 16/12 Parking layout
- Rev: B 02/05 New Layout
- Rev: C 17/05 New arrangement
- Rev: D 23/06 Amenity Area
- Rev: E 29/06 Updated for Planning
- Rev: F 28/08 New building form

+ 14.9m



15.2m



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Ty Cefn, Rectory Road, Cardiff, CF5 1QL
tel: 029 2038 8663 email: info@orielarchitects.co.uk

PROP. NEW DWELLING
5, WAUNGRON ROAD
CARDIFF.

PROP. SITE PLAN

Drg. No. 0868/19 | Rev: F | Scale: 1:200@A3 | Date: Nov. 2018

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REVISIONS

Rev: A 02/05 New Layout
Rev: B 17/05 New arrangement
Rev: C 23/06 Wall finishes
Rev: D 29/06 Updated for Planning
Rev: E 28/08 New Building form

Extension roof to match existing main dwelling and be finished in red clay tiles with red terracotta ridge tiles. Abutment between new and existing roofs to include Code 4 valley gutters. Eaves boards and soffits to be white UPVC units and rainwater goods to be white half round units.

New extension elevations to match existing and comprise; random course stonework, dressed stone window surrounds, red clay facing brickwork corner features, red clay tile hanging and white painted rough cast render.



3 Waungron Road

New Dwelling

5 Waungron Road

7 Waungron Road

Waungron Road Street View

New windows and doors to comprise; grey polyester powder coated aluminium double glazed units with top and side hung opening lights and suitable for severely exposed location. Self finished centre pivot Velux rooflights to be fitted with new roof level accommodation.

Access to existing side elevation flat doors, to be via new open passageway - gated at either end.



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tel: 029 2038 8663 email: info@orielarchitects.co.uk

PROP. NEW DWELLING
5, WAUNGRON ROAD
CARDIFF.

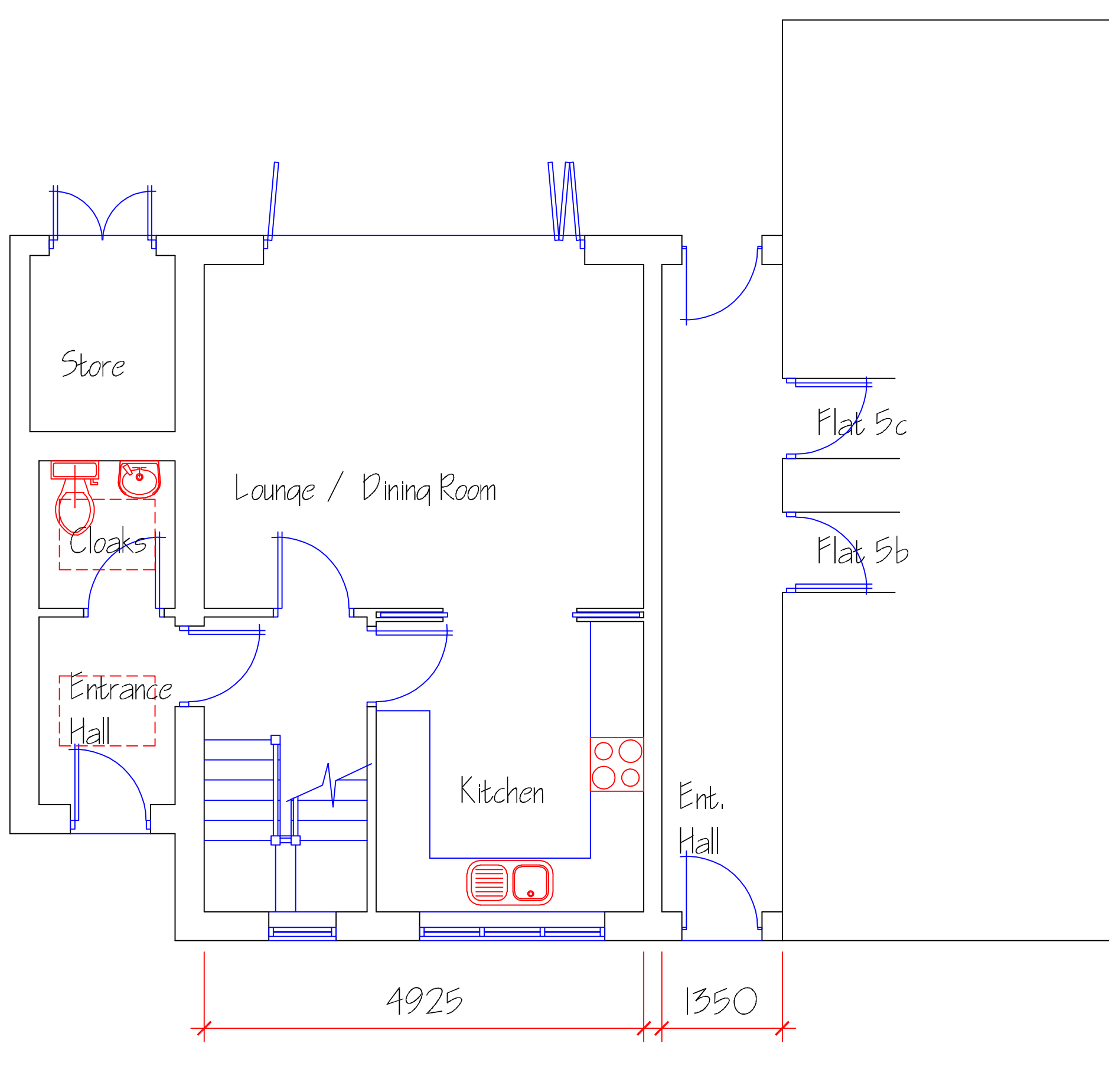
PROPOSED STREET VIEW

Drg. No. 0868/24 | Rev: E | Scale: 1:100@A3 | Date: Dec. 2018

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REVISIONS

- Rev: A 16/12 Window pattern
- Rev: B 02/05 New Layout
- Rev: C 17/05 New arrangement
- Rev: D 28/08 New building form



Floor Areas:
GFL - 47.7sq.m. + 9.8sq.m.
FFL - 46.9sq.m.
SFL - 44.5sq.m.

Total - 148.9sq.m.

Flat 5c

Flat 5b



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tel: 029 2038 8663 email: info@orielarchitects.co.uk

PROP. NEW DWELLING
5, WAUNGRON ROAD
CARDIFF.

PROP. GFL PLAN

Reg. Architect
Project Manager
Resident Coordinator

Dr. No. 0868/20 | Rev: D | Scale: 1:50@A3 | Date: Nov. 2018

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REVISIONS

Rev: A 16/12 Window pattern
Rev: B 02/05 New Layout
Rev: C 17/05 New arrangement
Rev: D 03/06 Notes added
Rev: E 23/06 Wall finishes
Rev: F 29/06 Updated for Planning
Rev: G 28/08 New building form

Roof arrangement to include formation of openings for Velux
centre pivot opening rooflights.

Rainwater goods to be white UPVC half round sections.

Side and rear elevation external walls to comprise white painted
render to ground and first floor level areas.



Prop Side Elevation



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PROP. NEW DWELLING
5, WAUNGRON ROAD
CARDIFF.

PROP. EAST ELEVATION

Drg. No. 0868/26 | Rev: G | Scale: 1:50@A3 | Date: Nov. 2018

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Extension roof to match existing main dwelling and be finished in red clay tiles with red terracotta ridge tiles. Abutment between new and existing roofs to include Code 4 valley gutters. Eaves boards and soffits to be white UPVC units and rainwater goods to be white half round units.



Rear Elevation

New extension rear and side elevations to match existing and comprise; white painted rough cast render with reconstituted stone surrounds as shown.

New windows and doors to comprise; grey polyester powder coated aluminium double glazed units with top and side hung opening lights and suitable for severely exposed location. Self finished centre pivot Velux rooflights to be fitted with new roof level accommodation.



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PROP. NEW DWELLING
5, WAUNGRON ROAD
CARDIFF.

PROPOSED GARDEN ELEVATION.

Drg. No. 0868/29 | Rev: A | Scale: 1:100@A3 | Date: June 2019

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Registered Architects Project Managers
Resident Architects

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LOCAL MEMBER OBJECTION
PETITION AGAINST THE APPLICATION

COMMITTEE DATE: 20/11/2019

APPLICATION No. **19/01867/MNR** APPLICATION DATE: 02/07/2019

ED: **WHITCHURCH WITH TONGWYNLAIS**

APP: TYPE: Full Planning Permission

APPLICANT: HMS Estates Ltd.

LOCATION: 6 PARK ROAD, WHITCHURCH, CARDIFF, CF14 7XD

PROPOSAL: PROPOSED CHANGE OF USE OF EXISTING A2 PREMISES TO A3 PREMISES; REFURBISHMENT AND EXTENSION OF REAR OF BUILDING TO PROVIDE THREE APARTMENTS; AND ASSOCIATED WORKS INCLUDING NEW FLUE

RECOMMENDATION: That planning permission be **REFUSED** for the following reason:

1. The premises are located in a primarily residential area outside an existing district or local centre and the proposed use is considered likely to result in nuisance and loss of amenity to adjoining and nearby residents by virtue of smell, noise, and general disturbance, particularly during the evenings. The proposal is therefore contrary to Policies R8 and EN13 of the Cardiff Local Development Plan and advice given in the Council's Supplementary Planning Guidance "Food and Drink and Leisure Uses".

1. **DESCRIPTION OF PROPOSED DEVELOPMENT**

- 1.1 The application proposes the change of use of a former bank (Use Class A2) to a fish and chip shop takeaway (Use Class A3) together with an extension to the rear to provide residential accommodation for two one-bedroom apartments and one two-bedroom apartment and associated works, including a new flue.
- 1.2 The proposed hours of the fish and chip takeaway would be 11.00 am to 10.00 pm Monday to Thursday, 11.00 am to 11.00 pm Friday and Saturday and 1.00 pm to 9.00 pm on Sundays.
- 1.3 In relation to the primary elevation the application proposes to overhaul the existing ground floor shopfront, which has the distinct character of its former use as a bank, by removing the exiting cashpoint and providing a central door to the proposed fish and chip shop. The main entrance will be bounded by a glazed frontage, whilst a new door to the apartments will be installed on the left-hand side of the shopfront. Some of the existing features such as the stone columns will be retained, to maintain the existing character and signage and lighting will be provided above the shopfront. The existing ramp to the front of the premises will

be replaced by an aesthetically softer ramp with landscaping. No changes are proposed to the appearance of the second floor and in order to accommodate the residential accommodation three sky-lights will be provided in the roofspace.

- 1.4 In order to rationalise the disjointed form that has arisen from various extensions over a number of years, the majority of which are flat roofed. It is proposed the development to the rear will present a partial gable frontage, with windows to the residential properties at first and second floors. The ground floor on the lane-facing elevation will provide doors to the waste and cycle stores and a staff entrance into the proposed fish and chip shop. No directly facing habitable room windows are proposed along the side elevation.
- 1.5 Ramped access is provided for customers at the front of the property and there are two communal entrances to the flats, one from the front and one from the side lane facing elevation. Separate bicycle and waste storage is provided for the shop and the apartments both located from the rear of the premises. Vehicular access exists via a rear lane off Foreland Road and two parking spaces are provided behind the property, for use by residents of the dwellings. There is a layby to the front of the premises for public use for short-term car parking.

2. **DESCRIPTION OF SITE**

- 2.1. The premises are located within a parade of commercial units fronting a roundabout on Park Road. The property comprises a vacant semi-detached two-storey unit. The premises is of pitched tile roof with a single storey extended frontage and a single storey flat roofed extension to the rear and parking for two cars to the rear.
- 2.2. The neighbouring commercial uses along Park Street include a Tesco convenience store, a takeaway sandwich kiosk, a pharmacy, a butcher, an A3 café/retail store and two estate agents. Many of these uses have residential uses at first floor level. The rear of this series of properties is met by a lane. The lane is dominated by various extensions and parking arrangements associated with the aforementioned uses, creating a distinct commercial character. Beyond this to the north east are various residential dwellings situated along Foreland Road. A footway is positioned in front of the property with on street parking available on Park Street and surrounding streets.

3. **SITE HISTORY**

Application No :	A/02/00124/N
Proposal :	DISPLAY SIGNS.
Application Type:	ADV
Decision :	PER
Decision Date :	26/09/2002

Application No :	01/01920/N
Proposal :	RETENTION OF GREY 60CM SATELLITE DISH
Application Type:	FUL
Decision :	PER
Decision Date :	24/10/2001

Application No : 05/01952/W
Proposal : NEW DISABLED ACCESS. CONSTRUCT NEW STEPS AND RAMP TO BANK AND RAISE A.T.M. LEVEL LANDING AT LLOYDS CHEMIST (NEXT DOOR) AND PROVIDE NEW STEPS AND HANDRAILS
Application Type: FUL
Decision : PER
Decision Date : 26/09/2005

4. **POLICY FRAMEWORK**

- Planning Policy Wales (Edition 10, December 2018)
- Cardiff Local Development Plan 2006-2026
 - o Policy KP5 (Good Quality and Sustainable Design)
 - o Policy EN13 (Air, Noise, Light Pollution and Land Contamination)
 - o Policy R8 (Food and Drink Uses)
 - o Policy T5 (Managing Transport Impacts)
 - o Policy W2 (Provision for Waste Management Facilities in Development)
- Supplementary Planning Guidance
 - o Managing Transportation Impacts (Incorporating Parking Standards) (2018)
 - o Waste Collection and Storage Facilities (2016)
 - o Food, Drink and Leisure Uses (2017)
 - o Flat Conversions (2019)

5. **INTERNAL CONSULTEE RESPONSES**

- 5.1 Operational Manager, Transportation has been consulted and have no objection to the application subject to a section 106 agreement financial contribution of £5,000 for Traffic Regulation Orders to amend the parking control in the vicinity of the proposed fish and chip shop takeaway. They state this would be used to introduce short-stay parking immediately outside the shop and in the existing parking bay on Park Road. In addition to the limited waiting parking controls some no waiting restrictions would also be proposed to ensure sight lines and access.
- 5.2 Pollution Control have been consulted and object to the application on the grounds that the proposed development is likely to cause loss of amenity and possible nuisance in relation to noise, odour and fumes on the basis of the close proximity of new and existing residential accommodation to the development in question and general disturbance, particularly during the evenings. They state that the proposal is therefore contrary to the following policies:

Cardiff Local Development Plan

R8: FOOD AND DRINK USES which states that Food and drink uses are unlikely to be acceptable within or adjacent to residential areas, where they would cause nuisance and loss of amenity, or result in the loss of a residential property.

EN13: AIR, NOISE, LIGHT POLLUTION AND LAND CONTAMINATION which states that development will not be permitted where it would cause or result in unacceptable harm to health, local amenity, the character and quality of the countryside, or interests of nature conservation, landscape or built heritage importance because of air, noise, light pollution or the presence of unacceptable levels of land contamination.

Cardiff City Council's Supplementary Planning Guidance Document 2017 Food Drink and Leisure Uses states that:

4.23 Local Centres and smaller neighbourhood centres are generally more residential in nature, and do not have the scale or variety of retail and non-retail uses of larger centres. Therefore, A3 and commercial leisure (D2) proposals may be more difficult to accommodate, and are less likely to be acceptable on amenity grounds (e.g. potential noise and disturbance, anti-social behaviour and litter associated with this type of development proposal). As a consequence more emphasis will be placed on protecting residential amenity within these centres through restricting closing times and the type of A3 premises.

5.4 Applications for hot food takeaway units within close proximity to residential units will not be considered acceptable where it is considered that there may be significant adverse impacts on residential amenity, in terms of noise, odours, traffic, litter etc. which cannot be mitigated.

5.6 It is not normally considered acceptable to locate hot food takeaways outside of designated centres where they are directly adjacent to residential properties, or where there is a residential premises directly above the takeaway.

In addition they state insufficient information has been submitted in relation to the proposed odour abatement to enable its potential impact to be properly assessed.

5.7 Noise and disturbance, and other anti-social behaviour arising from customers leaving a premises at 'closing time' can cause particular problems for local residents and hotel occupiers. The proximity to residential property and thus the potential impact on residential amenity, are factors considered in assessing development proposals. In predominantly residential areas, proposals for food, drink and entertainment uses are unlikely to be acceptable. Whilst City Centre residents must expect a degree of disturbance from late night activity, this must be within acceptable limits.

5.3 Operational Manager, Waste Management comments that the proposed area for the storage of waste and recycling has been noted and is acceptable. They also state:

As domestic waste is not collected from lanes bins will need to be presented for collection on Foreland Road.

Each apartment will require the following for recycling and waste collections:

- 1 x 140 litre bin for general waste
- 1 x 25 litre kerbside caddy for food waste
- Green bags for mixed recycling (equivalent to 140 litres)

The storage of which must be sensitively integrated into the design.

The kitchen should be designed to allow the separation of waste into three waste streams; general, recycling and food waste, in order to encourage the correct disposal of waste.

Refuse storage, once implemented, must be retained for future use.

Please advise the owner/applicant that since 27th July 2015, the developers of all new residential units are required to purchase the bin provision required for each unit. The bins have to meet the Council's specifications and can be purchased directly by contacting the Waste Management's commercial team on 029 20717500.

Please refer the agent/architect to the Waste Collection and Storage Facilities Supplementary Planning Guidance (2016) for further relevant information.

6. EXTERNAL CONSULTEE RESPONSES

6.1. South Wales Police have no objection to the application and state:

Whitchurch is a large residential area of Cardiff, located on the North of the city. South Wales Police comment that the Whitchurch area of Cardiff is an area of mixture residential, commercial developments and has an entertainment and night time economy area. Park Road, Whitchurch is surrounded by residential and commercial properties. Park Road is a commercial property, overlooking other residential homes/flats.

Whitchurch has crime and disorder levels which could be described as low with 360 occurrences being recorded in 2018 .Park Road has 9 recorded occurrences of which 3 were violence related and 4 were anti-social behaviour and 2 were drugs related. The major concern raised in the area is car parking, whilst the drivers or residents are collecting food and attending other commercial properties.

South Wales Police would make the following recommendations;

1. *Times operation- 08.00 -23.30 hrs.
Reason -To reduce anti-social behaviour and residential amenity.*

7. **REPRESENTATIONS**

- 7.1 The application was advertised by site notice and neighbouring occupiers have been consulted by letter.

PETITIONS

- 7.2 One petition of 51 signatures objecting to the application has been received from local residents stating:

We object to the application for a number of reasons, as set below.

Cardiff Local Development Plan 2006-2026

Whilst the site falls within the settlement boundary, the property is within a predominantly residential area outside of any defined District or Local Centre, or other designated centre defined in the Local Development Plan.

Therefore the provision of a Class A3 Use (Chip Shop) in this location is contrary to Policy R8 which states that new food and drink uses will be most appropriately located in the City Centre, Cardiff Bay, as well as District and Local Centres, not in predominantly residential areas.

Furthermore, the proposed Class A3 element of the scheme does not accord with the criteria as set out in Policy R8 relating to matters on amenity considerations, highway, crime and fear of crime as well as not causing nuisance.

Supporting Paragraph 5.294 also reiterates that 'Food and drink uses, including restaurants and hot food take-aways, are better located in designated centres where they can complement and enhance the existing shopping role, increase footfall and are accessible by public transport. Such uses are better located in designated centres than residential areas because of the impact they can have in terms of vehicular and pedestrian traffic, noise, fumes, litter and late night disturbance'.

Concerns regarding these matters are outlined:

Amenity

With regard to environmental health and amenity issues, it is considered that the proposed Class A3 use would not be acceptable for this location and would result in adverse amenity impacts by virtue of the opening hours, highways, crime/late night disturbance, litter and waste.

Opening Hours

We note that the proposed opening hours are:

- 11.00 - 22.00 Monday to Thursday
- 11.00 - 23.00 Friday to Saturday
- 12.00 - 21.00 Sunday.

The argument that the property was formally a Bank and had visitors is noted; however

the times proposed are clearly an unacceptable extension to those of the former bank. Whilst we note that Tesco has late opening hours, the remaining other commercial properties are generally closed by 18.00, and therefore the proposed late night opening is completely inappropriate for a Class A3 Use (Chip Shop) providing a takeaway service in a residential location.

Fear of Crime

Given the location, and the proposed opening times, it is considered that the proposal would generate and increase the fear of crime as it would encourage the congregation of visitors outside of the premise, which could be as late as 23.00. There is no enforceable way to restrict this congregation at what will essential be a late night takeaway venue.

Highway/Transport

In terms of concerns relating to highway matters we note the concerns raised by the objector's regarding the parking situation. We agree with these concerns, and the complete lack of understanding of the current situation.

We also note that the Transport Statement from Hydrock does not provide sufficient evidence regarding their assessment to sufficiently address the concerns raised by the Highways Officer as part of the Pre Application Submission. The application is therefore contrary to PolicyTN5.

Litter/Waste

Policy EN 13 outlines that development will not be permitted where it would cause or result in unacceptable harm to health or local amenity because of air, noise, or light pollution. Whilst not all of these matters are relevant, it is proposed that the provision of a Class A3 use (Chip Shop) has the potential to generate significant waste and litter, as well as the increase in noise from those visitors at the Chip Shop until 23.00 on some nights. Clearly this is not appropriate for a residential location.

Competition

Whilst we appreciate that competition is not a planning matter, it is notes that there are sufficient operators providing Class A3 use in the local vicinity.

Relevant Planning History

The Council will be full aware of the recent refused application at 30 Fishguard Road, Llanishen (Ref: 19/06/2019) for the provision of a change of use from retail to a Class A3 takeaway. Many of the points raised above are similar to the assessment undertaken at the refused scheme. It is therefore considered that a precedent for refusing this type of inappropriate development has been established.

Overall the proposal would be contrary to Policy R8: Food and Drink Uses in that food and drink uses are most appropriately located in the city centre (Central Business Area), the inner harbour/waterfront area of Cardiff Bay (Bay Business Area) and

District and Local Centres. Clearly this is not the case, in a predominantly residential area, and will create a number of amenity concerns.

Food, Drink and Leisure Uses Supplementary Planning Guidance - November 2017

The Food, Drink and Leisure Uses SPG (November, 2017) reiterates the approach to the Local Development Plan.

Paragraph 5.4 confirms that 'Applications for hot food takeaway units within close proximity to residential units will not be considered acceptable where it is considered that there may be significant adverse impacts on residential amenity, in terms of noise, odours, traffic, litter etc. which cannot be mitigated'.

Furthermore, paragraph 5.6 states that 'It is not normally considered acceptable to locate hot food takeaways outside of designated centres where they are directly adjacent to residential properties, or where there is a residential premises directly above the takeaway'.

Whilst paragraph 5.7 outlines that 'Noise and disturbance, and other anti-social behaviour, arising from customers leaving a premises at 'closing time' can cause particular problems for local residents and hotel occupiers. The proximity to residential property and thus the potential impact on residential amenity, are factors considered in assessing development proposals. In predominantly residential areas, proposals for food, drink and entertainment uses are unlikely to be acceptable'.

With regard to opening hours, paragraph 5.24 notes that they 'can significantly affect the potential impact of proposals on the shopping role and character of an area, amenity, or highway safety. In general, daytime A3 uses such as cafes are supportive to the shopping role of centres and have less of an impact on local residents. In contrast, evening time A3 activity can create disturbance and in so doing harm to residential amenity

Reason for Refusal

Further to the information provided above, it is our recommendation that the application be refused, and we provide the following valid reasoning:

The premises are located outside an existing district or local centre and the proposed use is considered likely to result in nuisance and loss of amenity to adjoining and nearby residents by virtue of smell, noise, and general disturbance, particularly during the evenings. The proposal is therefore contrary to Policies RB and EN13 of the Cardiff Local Development Plan and advice given in the Council's Supplementary Planning Guidance "Food and Drink and Leisure Uses".

OBJECTIONS

- 7.3 An objection to the application has been received from the Local Members Councillor Michael Phillips and Linda Morgan who state the following:

We are writing in support of local residents' objections to this planning application, which is not suitable in a residential area.

Residential area and amenity

Park Road sits within a residential area of Whitchurch. It is framed by tree-lined residential streets, Whitchurch Library and the Library Gardens. Many of the homes date back to the establishment of this area of Whitchurch, built from the early 1900s.

Cardiff Council's Food Drink and Leisure Uses SPG give clear guidance at 3.1 that developments of this nature are most appropriately located in District and Local Centres, which this location is not.

3.2 states 'Food, drink and leisure uses are unlikely to be acceptable within or adjacent residential areas, if they would cause nuisance and loss of amenity to residents (please see Section 5 for further details); or result in the loss of a residential property. In the interests of good placemaking (see para 1.4 [above]), some flexibility will be applied to larger residential or mixed uses development proposals outside of existing or proposed Centres, subject to detailed considerations and where it can be demonstrated that amenity concerns would not arise.'

In deciding on the merits of 14/02259/DCO at 12 Park Road both points are acknowledged, and planning restrictions are placed on the specifically to exclude the type of fast-food outlet proposed with the application at 6 Park Road from operating at 12 Park Road.

We ask that consistent application of these guidelines is given otherwise we the loss of amenity that gave concern there will manifest from this application. If permission is granted, we would rightly expect an appeal or re-application for the same extended use at 6 Park Road, causing further loss of amenity.

More recently, a similar application for change of use, 19/00459/MNR, was refused by the planning authority citing that the premises are located in a primarily residential, are outside and existing district or local centre, and the proposed use was considered likely to result in nuisance and loss of amenity to adjoining and nearby residents by virtue of smell, noise, and general disturbance, particularly during the evenings.

The decision notice further states the proposal is contrary to policies R8 and EN13 of the Cardiff Local Development Plan and advice given in the Council's Supplementary Planning "Food and Drink and Leisure Uses".

The same consideration should be applied to the application at 6 Park Road.

We would also draw your attention to the numbers of residential properties in flats above the small parade of shops and the statement within the "Planning Statement" at 2.3 that the lane at the rear of these properties is within 'a distinct commercial character'. This lane is actually an adopted highway leading to a residential home located behind 16 Park Road and bordered by a long, green garden, with large mature trees, from the first home in Foreland Road.

This description would appear to be an attempt to reclassify the area's character for the purposes of this application.

The Planning Statement at 2.6 considers Park Road to be a continuation of the District Centre. The decision of 19/00459/MNR acknowledges the location is a residential location not a District Centre. The documentation of planning history at 2.12 - 2.15 does not acknowledge the most relevant history of 19/00459/MNR or 19/00459/MNR.

Parking and Traffic

With respect, the applicants claim of 71 parking spaces being available within the immediate area is disrespectful to residents in the area who are already blighted by traffic levels and parking issues. Anyone who knows this area will be aware that parking demand for the existing precinct of shops and the services provided by the Church already causes significant impact.

Whitchurch PACT meetings are frequently presented with resident complaints about pavement parking, blocked driveways and to some degree blocked roads.

Kelston Road and the residential parking bays on Velindre Road are quite frequently used as parking locations from shoppers at the Tesco store.

The junction at Foreland Road and Tyn-Y-Pwyll Road is almost continuously hindered by drivers parking at or on the junctions and from delivery lorries queuing to deliver to the Tesco store. Where and when additional commercial deliveries can be affected to the applicant's business, in a residential area, is debateable.

The appendix to this letter shows a selection of parking infringements and inconsiderate parking in the immediate vicinity of the site. These are not selective but show a representative view of the everyday and all-day issue of parking because there are not 71 parking space opportunities in the area.

The Transport Statement at 5. outlines the parking available along the surrounding residential streets, however these spaces are already used almost continuously. There is no possible guarantee that users of the Chip Shop will be able to access them.

As less parking spaces are planned for the residential units (2) than the number of units (3), it is likely that there will be further overspill onto the residential streets from new residents and staff, for whom no parking provision is provided.

The Transport Statement at 2.4 presents a happy view of road safety in the area and we would concur, if reported incidents are the only measure. However, planning authorities must take note of local knowledge. The roundabout and the five zebra crossings are the subject of daily, frequent near misses. Cllr Phillips has experience numerous very dangerous experiences including twice having to pull a child out of the way of vehicles accelerating away from the roundabout where the drivers have no regard to pedestrians already on the crossing. This appears to be a consequence of the crossing being on a main thoroughfare where drivers are travelling through the

village to other destinations rather than recognising the residential environment.

One photograph in the appendix shows the result of this attitude where a driver lost control of a silver Golf, alighting the roundabout onto Penlline Road, destroying the zebra crossing light post and the Church Wall and railings. This occurred early on a Saturday evening and children had just crossed at this point.

Sometimes, when residents says that a road is dangerous, because of how human nature increasingly gives less consideration to others safety, statements such as “an accident waiting to happen’ are worthy of consideration.

Increased traffic and parking, causing less sighting and increased frustration for drivers will cause further safety concerns to residents, where already vehicles are parked across disabled access ramps, zebra crossings and pavements.

For the reasons stated we ask that you refuse permission for this application and should officers be minded to advise approval for this scheme, we request that the application is brought before planning committee.

- 7.4 The following objection on grounds of highway access and safety, parking availability and impact on residential amenity was submitted by a planning consultant on behalf of the owner of the adjacent semi-detached property at 8 Park Road

Highway Safety and Parking

The proposed change of use is situated on Park Road approximately 1.5km from Junction 32 of the M4 and in immediate proximity to a roundabout, linking to Penlline Road to the south. No.6 Park Road sits amongst a parade of commercial units which include a hair salon, an estate agent, a gift and coffee shop, a butcher, a pharmacist and a Tesco Express store. There are flats above some of the commercial units and residential properties to the rear.

The addition of a fish and chip shop to the parade of commercial units on Park Road is likely to increase the traffic flows and congestion along this already busy route, with visitors ordering and collecting food and service vehicles carrying out deliveries. The Transport Statement from Hydrock predicts the fish and chip shop could generate 28 vehicle arrivals during peak times. Given the nature of takeaways compared to restaurants, for example, many of these arrivals will be short-term visitors. Yet parking spaces on Park Road are extremely limited. This is concerning from a safety perspective because short-term visitors may park precariously on the street, parking bay or roundabout, causing obstruction and hazards to vehicles and to pedestrians using the zebra crossing opposite the site.

The Transport Statement from Hydrock outlines that there are numerous other parking spaces available on nearby Penlline Road, Velindre Road, and Foreland Road. However, it is not guaranteed that visitors will be aware of or use these spaces. Therefore, this development and its associated traffic and parking issues is considered to conflict with Policy T5 (Managing Transport Impacts) of Cardiff’s Adopted Local Development Plan. This policy states that new development must avoid unacceptable harm to the safe and efficient use and operation of the road, public transport and other movement networks.

Cardiff Council's Supplementary Planning Guidance on Managing Transportation Impacts (approved 19th July 2018) advises that by increasing traffic flows or turning movements, new developments can potentially impact on the function of the highway, making roads busier and less safe and attractive as places and for people cycling and walking (paragraph 3.1). The SPG goes on to advise that in considering development proposals, the Council will assess the impact of developments on the function of roads directly serving a development, within the immediate vicinity of the site and within the wider highway network.

Parking for No. 6 Park Road, and the other adjoining commercial units, is provided at the rear of these properties and accessed from Foreland Road. Currently, parking availability is already very restricted, with cars typically parked in front of one another due to a lack of sufficient space. The application proposes just two parking spaces for three apartments with no provision for visitor parking. The aforementioned SPG suggests that for the application proposals, 4 parking spaces would be appropriate (Table P.9). It is recognised that the Council's parking standards are maximum parking standards however it is considered that there should, at the very least, be one parking space per apartment. The SPG acknowledges that excessive provision can serve to stimulate demand for car travel and perpetuate reliance on the car however it also recognises that there is a need to manage pressures on on-street parking spaces and negative impacts of oversubscription of space including congestion, hazards, visual intrusion and harm to residential amenity (paragraph 6.1)

Amenity

The proposed change of use also raises concerns about impact on amenity as a result of noise and nuisance from late night opening and smells from food cooking. Policy R8 (Food and Drink Uses) states that A3 uses such as a fish and chip shop are appropriately located in district and local centres subject to amenity considerations, highway matters, crime and fear of crime considerations. Park Road itself is not designated as a District Centre.

The proposed opening hours of 11am-10pm Monday to Thursday; 11am-11pm Friday and Saturday; and 12pm-9pm Sundays will result in noise disturbance for neighbouring residents. This disturbance will be particularly adverse during the evening and night-time. The presence of customers at these unsociable hours may increase the likelihood of anti-social behaviour in the vicinity, which can impact crime and fear of crime among residents. This is particularly relevant for the older members of Whitchurch's community and their sense of safety and security. The shop's operation is likely to involve unpleasant odours that can affect residential amenity, as well as an increase in littering on the street.

The potential for impact on amenity has been recognised previously by your Authority when it considered an application for the change of use from A1 to A3 at 12 Park Road (Ref: 14/02259/DCO). Although planning permission was granted, the planning officer in their delegated report recognised that an unrestricted change of use to A3 would be unacceptable in this location due to the impact on residents of noise, general disturbance and smell from the premises. However, because the proposals didn't involve the cooking of hot food and the opening hours would be restricted, via planning conditions, the LPA considered there would be no reasonable grounds for refusal. There has been no change in circumstances since the application for No.12 Park Road was considered. It follows therefore that if the LPA were to apply the same considerations to the application f that it would be deemed unsuitable due to the fact

that it's a hot food takeaway and involves late night opening hours.

It is also considered that the extension to the rear of the property would have an overbearing impact on our client's property as well as those of adjoining properties on Park Road due to the very limited space available currently. As previously mentioned, car parking availability and access to the rear of the site would be restricted even further as a result of this development. The client's car park immediately joins the proposed extension, meaning the proposal is in conflict with Policy R8 and KP5. It is our view therefore that the rear extension constitutes overdevelopment of the site. For the reasons stated above, the following policies are applicable to the proposed development:

- **Policy R8** states that development will be acceptable providing it does not adversely affect the living environment of nearby residents.

- **Policy EN13** states that development will not be permitted where it would cause or result in unacceptable harm to health, local amenity, the character and quality of the countryside, or interests of nature conservation, landscape or built heritage importance because of air, noise, light pollution or the presence of unacceptable levels of land contamination.

- **Policy KP5** states that all new development is required to be of a high quality, sustainable design and make positive contribution to creation of distinctive communities, places and spaces by ensuring no undue effect on amenity of neighbouring occupiers.

- **SPG Food, Drink and Leisure Uses** states that:

- Where there are residents living in flats above takeaway, conditions may be imposed to restrict hours of opening and noise.

- Unacceptable harm regarding noise disturbance can result from intensification of an existing operation and/or volume of vehicles and pedestrians generated.

- There is a growing concern that food and drink uses (hot food takeaways / drinking establishments), and leisure-related facilities that cater predominantly for the younger people, and in particular, young circuit-drinkers discourage older people and families.

Finally, whilst we acknowledge that this is a legal issue rather than a planning issue, our client would like to make you aware of their concerns about how the integrity of their building and abutting walls will be affected as a result of the proposed construction. In particular, the interference and potential damage that this may cause to their property. The client expects that they and their tenants would be protected from disturbance during any construction works by appropriate planning conditions, if the application were to be approved.

We trust that you will take the above concerns into consideration when determining the application and urge you to refuse permission on the grounds that the application would result in highways safety and access issues for the public; parking issues and a negative impact on the local amenity.

7.4 In addition to the petition 31 individual objections have been received to the application from local residents. A summary of the issues raised is included below:

- **Traffic and Parking Implications** – There is Insufficient parking in the area which will lead to parking problems on a busy roundabout and surrounding streets causing a nuisance to residents, as drivers frequently block entrances and driveways and raising highway safety issues for both pedestrians and other road users. This Tesco store already causes significant parking problems which will only be exacerbated by this application proposal. An extract of one of the objections is included below:

It is well known that this area struggles to cope with traffic volume, particularly due to its proximity to Velindre Hospital. This has been widely recognised and is one of the reasons why a more appropriate site is being sought for the hospital. We have witnessed patients being unable to find places to park in the hospital car park, resulting in the need to park in the adjacent streets.

We consider that the Transport statement accompanying the planning application is flawed and does not adequately consider the impact the hospital has on traffic and parking in the local area. The Transport statement suggests there are 71 potential parking spaces available in the surrounding area but does not acknowledge how saturated the current parking situation is. It assumes that spaces are readily available when they are not, mainly due to the impact of the hospital.

Although the Transport statement has analysed the number of accidents that have taken place, it does not consider the number of near misses and road rage incidents that we regularly witness. These are not included in the statistics but are important anecdotal evidence that the planning committee should consider. As people parking to visit a takeaway would generally be parking for short periods of time there is a safety concern. On several occasions we have witnessed short-term visitors to Tesco parking hazardously in the parking bay and streets around the roundabout. This causes obstructions to vehicles (including buses) and pedestrians. Adding a fast food outlet will only exacerbate the problem.

There are also only 2 spaces for the proposed 3 flats which seems a fairly limited provision and no spaces for staff. There is no additional parking on the access lane, so once the two spaces are filled any further need for parking would likely spill onto Foreland Road making the issues already highlighted even worse.

There has been no mention of staff parking or parking for the proposed 3 flats, other than 2 spaces at rear. The 2 spaces allocated to the flats may be quickly filled - and potentially there may be 4 further spaces needed just for the residents (if 6 people occupy the 3 flats). That already puts 4 cars on the road without the staff at the proposed shop adding to this.

Take out shops need to have a good parking facilities nearby which this certainly does not. Foreland Road is quite narrow, Ty'n y Pwll Road is the same. Virtually no parking nearby on Park Road except for a three car lay-by outside the butchers

and cafe which is usually well filled. A large percentage of the Velindre Road is residents only whilst there are double white lines on the other side.

- **Lack of need** - There is no need for further fish and chip shops or takeaways in Whitchurch. There are already plenty of takeaways and chips shops within the local area, which are well positioned away from residential areas and next to car parks and appropriate on street parking not to mention the two cafes and sandwich shop located on the same roundabout. At least two fish and chip shops have closed in Whitchurch over the past few years due to lack of custom. Concern was expressed that this won't be a viable business, and that the building will lose its unique architecture and still end up empty.
- **Not a commercial area** - Disagree that the roundabout commercial premises can be seen as an extension of the main commercial area on Merthyr Road as separated by a school, car park, 3 churches, 20+ houses, flats complex, the orchards housing, scout and bowls club and nursery, etc.
- **Impact on Public Health and obesity** - Allowing a fish and chip shop does not seem to fit with the current public health drive to reduce obesity. Organisations are trying to encourage healthy eating as part of the Healthy Working Wales strategy and an additional chip shop would compromise this approach. In addition given its location close to schools the detrimental health effects cannot be ignored and anything to be done to promote healthy eating should be encouraged by the Council. This proposal does not meet Public Health Wales ambitions to improve child health and obesity rates.
- **Loss of shopfront** - The proposal would result in the loss of a shopfront with significant architectural value adding to the character of the streetscene the loss of which would be contrary to the Provisions of the Council's Shop fronts and Signage Supplementary Planning Guidance which states that proposals should seek to retain, repair and consider restoring, where original traditional shop fronts are of value.
- **Pedestrian Safety** - The proposal is located on a busy roundabout and will increase the number of cars attempting to stop on the roundabout. The roundabout comprises 5 entrances (6 if Foreland road is included), there are 5 zebra crossings. These crossings are used regularly by pedestrians, and in particular children/young people using the park and library, and going to local schools. It is already an unusual roundabout with cars regularly driving across zebra crossings as they leave the roundabout, without noticing pedestrians. Additional cars stopping for a take-away are likely to look for closer spaces and cause more problems and hazards for pedestrians and other cars.
- **Inadequate Cycle Routes** – The Taff trail is unsuitable as it is not lit at night. The cycle route on Northern Avenue/ Manor Way is on the pavement and shared with pedestrians. It is often blocked with cars, poorly marked and ill-suited for bikes. Very few cyclists use this route as it is so poor. There is also little in the way of cycle routes running in other directions.

- **Noise, Smells and Disturbance** - The proposed opening hours, until 10pm Monday to Friday and 11pm on Saturday night, are likely to cause noise and disturbance. All other shops on the street, apart from Tesco, are closed by 6pm. It will encourage additional night time activity around the shop areas and into Whitchurch Library Gardens. This would create disturbance to local residents. The extractor will also add to the noise from the existing refrigeration units from the other park road shops and the smell of the chip shop is likely to disturb the surrounding houses and flats.
- **Increased Anti-Social Behaviour** - It also may become a magnet for anti-social behaviour (similar to the problems experienced with the Subway sandwich shop in Whitchurch village which has now closed and ill-fated skate park in the Library park).
- **Litter problems** - There will be additional waste and litter produced, likely to end up in the park and front gardens, encouraging rats and pigeons/sea gulls in the area.
- **Poor Design of flats** - As well as inadequate parking, the three flats are extremely small, with no available garden/outside area, with the exception of the two car parking spaces and the refuse area. This is out of keeping with the context of the local area, which is predominantly semi-detached family homes and retirement flats. There is no evidence that these flats are suitable for local need. They are not equipped to deal with the elderly or those with mobility issues, as there are many stairs. The lack of outdoor space makes them unsuitable for children. The size indicates that they will provide a poor standard of accommodation, with questions as to whether they meet the recommended minimum size - particularly the two flats which are split over two floors, have limited light and have restricted space due to the eaves. The additional building out the back of the proposal is surprisingly tall and taller than some of the buildings in direct proximity to it. It seems out of character for the space and looks like it and would impinge on light and views of the existing units and houses and will overlook gardens on Foreland Road.
- **Future Generations** - The justification includes claims of generating employment and sustainability. There appears to be no plans as to how the waste products (oil), paper, packaging etc. from the fish and chip shop will be reused/recycled. The employment is likely to be paid at minimum wage rates, and with unhealthy working environment, heat and use of oils. If successful as a business, it would take jobs from nearby fish and chips shops. There are three fish and chip shops within 600 metres of the site, a further one at 1.1km. It is also planned at a location near Whitchurch High School (350 metres from the upper school) and a route which children regularly pass going to and from school.
- **Restrictions on other A3 premises** permitted within this location have only allowed the sale of toasted or grilled sandwiches and Panini's by toasting, grilling or heating in the microwave and opening hours of 9.00 am to 6.00pm.
- **Precedent** – Previous decisions in the area have set a strong precedent for rejection of the application. In this respect it was noted that planning was turned

down recently for a similar development in Fishguard Road, Llanishen (application number 19/00459/MNR) with the reason given:

"The premises are located in a primarily residential area outside an existing district or local centre and the proposed use is considered likely to result in nuisance and loss of amenity to adjoining and nearby residents by virtue of smell, noise, and general disturbance, particularly during the evenings. The proposal is therefore contrary to Policies R8 and EN13 of the Cardiff Local Development Plan and advice given in the Council's Supplementary Planning Guidance "Food and Drink and Leisure Uses".

It was also noted that when Bodlon, application 14/02259/MNR, had change of use granted there were a number of specific restrictions placed on it around opening hours, the type of cooking that could take place on site due to potential smells and that no food could be taken off the premises. All of these were aligned to current planning rules and to ensure it did not affect the amenities of the neighbouring houses, flats and businesses. The take away proposal cannot be operated under any of these same restrictions and given that the nature of the area has not changed, there is a strong precedent for rejecting the application.

- **Increased Air Pollution** - There will be an increase in air pollution (from the fat in the shop itself as well as the cars visiting the shop). Again this is something that Public Health Wales want to improve due to it's known impact on respiratory health. Cardiff is already known to have dangerous levels of air pollution and this can't be consciously increased by this proposal. It will be our children and our own health that will be directly impacted upon.
- **Lack of publicity** - Concern was expressed over the lack of publicity given to the proposal *stating "I feel that people's awareness to this proposal has only been realised through neighbours/social media/A4 copies on lampposts. There are a number of elderly residents locally for whom these channels may not have been opened. So I do not feel this has been widely or appropriately shared with those who will be directly affected."*

7.5 In addition to the 18 representations have been received supporting the application. A summary of the reasons is included below:

- Bring jobs to the community as well as more housing
- Parking wasn't an issue for the last 20 years when the bank was open, unless there was bad parking by individuals and proposed use will result in less visitors than a bank with shorter stays. There is plenty of parking available in the surrounding streets but of course it needs to be utilised. The correct signage could utilise this parking effectively. Also a chip shop is likely to be busy around lunch time when the road traffic in the area is relatively low and later in the evening around 7pm when again it's not at its peak. Peak traffic times would be 9am for work and school and 3-5pm when work and school is also finishing.
- Parking can be controlled through Council enforcement powers. The first would be to introduce double yellow lines and to put up clear signage and cameras. The

council may want to also consider removing the lay by on Park Road and extending the pavement to prevent people from parking there as a lot of people complain about vehicles sticking out. At the end of the day there is plenty of room to pass by even if a vehicle is sticking out it may have been that someone has tried to squeeze a third vehicle in only when there is realistically space for two. I think wherever you are you will encounter bad vehicles parked and it is something that's unavoidable.

- Will lead to the modern refurbishment of the building and bring it back into use attracting residents to the area and more custom for surrounding businesses.
- Vehicles using Park Road on daily basis is already great in number as Tesco is next door and it leads to Coryton interchange and the motorway. It doesn't pose a huge risk as the transport survey demonstrates the low number of fatalities. There will be near misses anywhere and everywhere. If that was the case people would be banned from walking on the streets.
- Looks to be a new business start-up which we should encourage more of!
- Provides plenty of options for customers
- Supports local welsh businesses
- Transport facilities available to and from Park Road.
- The development would be a good addition to the village and will attract trade and custom and can benefit staff at the surgeries, hospitals and the school and will benefit the residents and the design looks slick and modern
- The application addresses concerns relating to noise for the flue/extractor and litter. The design and extractor system looks appealing meaning that it cancel out any noise pollution. In terms of litter control the council guidelines state that any A3 premises offering take away should provide additional bins for litter to be disposed of.
- The proposed hours near enough match Tesco if anything opening later and closing earlier
- It is for the public to decide whether they want to indulge or eat healthy. There is no forcing people to eat unhealthy food
- It would add to the tourist attractions that Whitchurch receive, being near an old building such as the library, and Whitchurch Park.
- It would be ideal to have another cash machine either there or in front of Tesco as the nearest one is on the other side of the village. I like the idea of apartments as it sounds very classy as opposed to flats or houses.
- Although it may attract small groups during lunch hours and in the early evenings

Whitchurch does not have a high rate for anti-social behaviour. If children from the school do congregate I believe the majority of them are well behaved.

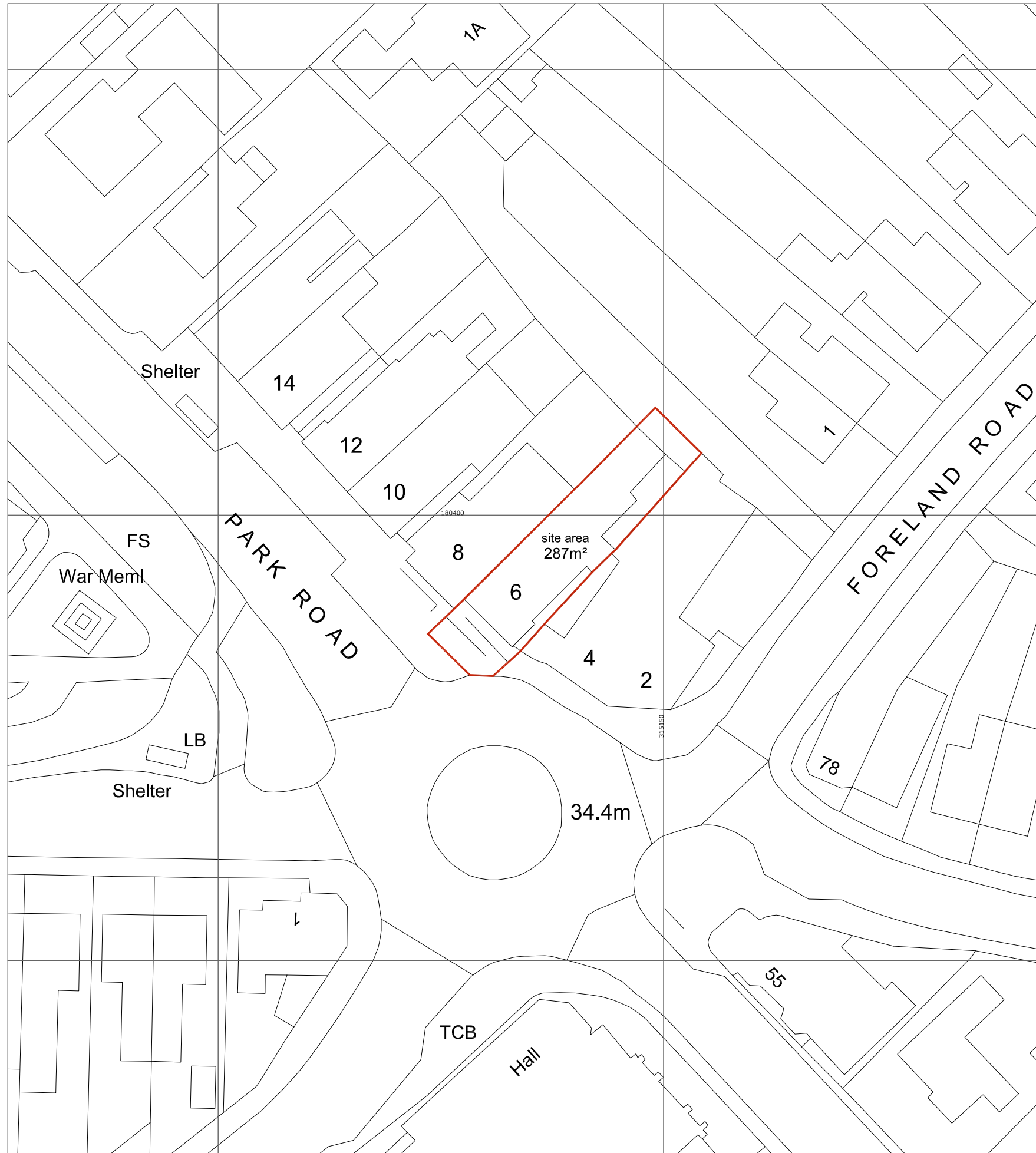
8. **ANALYSIS**

- 8.1. The application site falls within the settlement boundary as defined by the Local Development proposals map and has no specific designation or allocation. The application premises comprise a vacant retail bank (Use Class A2) located within a small parade of retail shops with residential accommodation above.
- 8.2. Para 5.282 of the LDP states that in addition to local centres identified on the proposals map, there are numerous smaller groups of shops and individual 'corner shops' across the county that provide valuable shopping facilities to surrounding communities. Proposals that could lead to the loss of such local shops will be assessed having regard to the role of those shops in meeting local shopping needs and the viability of the premises for continued shopping use.
- 8.3. The key issues are the effect of the proposal upon residential amenity (with particular regard to noise, disturbance, litter and smells).
- 8.4. The application premises are currently vacant. The proposal should be assessed against Policy R8: Food and Drink Uses which identifies that food and drink uses are most appropriately located in the city centre (Central Business Area), the inner harbour/waterfront area of Cardiff Bay (Bay Business Area) and District and Local Centres. Food and drink uses are unlikely to be acceptable within or adjacent to residential areas, where they would cause nuisance and loss of amenity, or result in the loss of a residential property. Also of relevance is Food, Drink and Leisure Uses SPG (November, 2017).
- 8.5. Paragraph 5.4 of the SPG states that hot food takeaway units within close proximity to residential units will not be considered acceptable where there may be significant adverse impacts on residential amenity in terms of noise, odours, traffic, litter etc. which cannot be mitigated.
- 8.6. Paragraph 5.6 states that it is not normally considered acceptable to locate hot food takeaways outside of designated centres where they are directly adjacent to residential properties, or where there is a residential premises directly above the takeaway.
- 8.7. In this respect it is noted that the application premises are located in a residential area outside any defined district or local centre or other designated centre defined in the Local Development Plan. In addition there are residential flats proposed immediately above the premises and adjoining the premises to the south. There is also residential accommodation nearby to the east on Foreland Road and west, south and north on Velindre Road, Tyn-y-Pwll and Park Road. In this respect it is noted objections to the application have been received from local residents in terms of adverse impacts on residential amenity including issues relating to night time noise and disturbance, odours, traffic, litter, parking problems, etc.

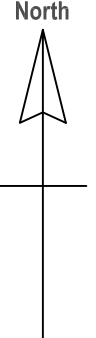

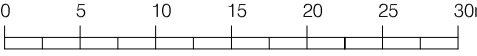
- 8.8. Given the advice set out above and the objections received from Pollution Control and local residents, it is considered that the proposals would be contrary to policies in the adopted Local Development Plan and the approved Food, Drink and Leisure Uses SPG and likely to result in nuisance/loss of amenity to the occupiers of adjoining and nearby residential accommodation by virtue of smell, noise and general disturbance, particularly during the evening.
- 8.9. The Well-being and Future Generations (Wales) Act 2015 places a duty on public bodies that they must carry out sustainable development and puts in place seven well-being goals to help ensure that public bodies are all working towards the same vision of a sustainable Wales. It defines sustainable development as "the process of improving the economic, social, environmental and cultural well-being of Wales by taking action, in accordance with the sustainable development principle, aimed at achieving the well-being goals." It goes on to identify that "acting in accordance with the sustainable development principle means that a body must act in a manner which seeks to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs."
- 8.10. This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable impact upon the achievement of well-being objectives as a result of the recommended decision.

9. **CONCLUSIONS**

- 9.1. Further to the consideration of the matters and content of this report refusal of the application is recommended.



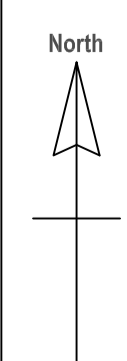
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	Issue	26.06.19	Planning submission
	 Westfield Architects		<ul style="list-style-type: none"> THIS DRAWING IS TO BE READ IN CONJUNCTION WITH OTHER RELEVANT ARCHITECTS' AND ENGINEERS' DRAWINGS AND SPECIFICATIONS. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE STATED. ALL DIMENSIONS TO BE CHECKED ON SITE BEFORE AND DURING WORKS. ARCHITECT TO BE MADE AWARE OF ANY CHANGES TO DESIGN OR DIMENSIONS.
			
	Job:	6 Park Road, change of use, extension and alterations	Date:
Location:	6 Park Road, Whitchurch, Cardiff. CF48 1PQ.	Scale:	1:500@A3
Title:	Site Location Plan	Drg No:	223 - AL(90)01
TEL - 07846 126350. E-MAIL - sam@westfieldarchitects.co.uk 2 Alexander Gate, Ffordd Pengam, Cardiff. CF24 2SA.			



6 PARK ROAD

Parking space 01
Parking space 02

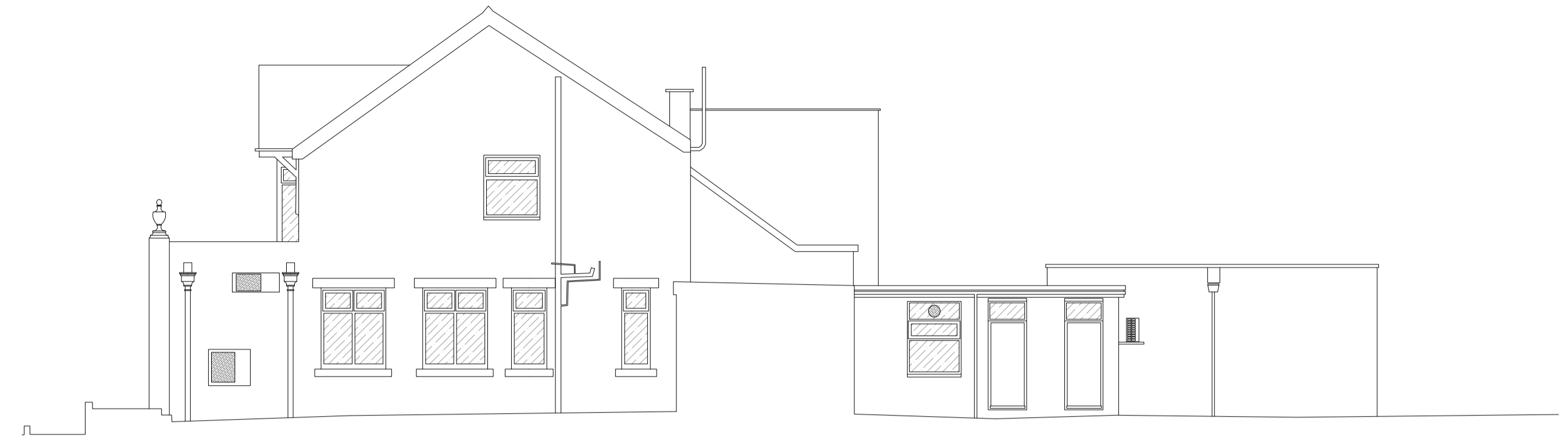


Issue	26.06.19	Planning submission
<p>WA Westfield Architects</p>		
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Job:	6 Park Road, change of use, extension and alterations	Date: 06.19
Location:	6 Park Road, Whitchurch, Cardiff, CF48 1PQ.	Scale: 1:100@A1
Title:	Proposed Site Layout	Eng No: 223-AL(09)03
<small>TEL - 07848 126350, E-MAIL - sam@westfieldarchitects.co.uk 2 Alexander Gate, Fford Pengam, Cardiff, CF24 2SA.</small>		



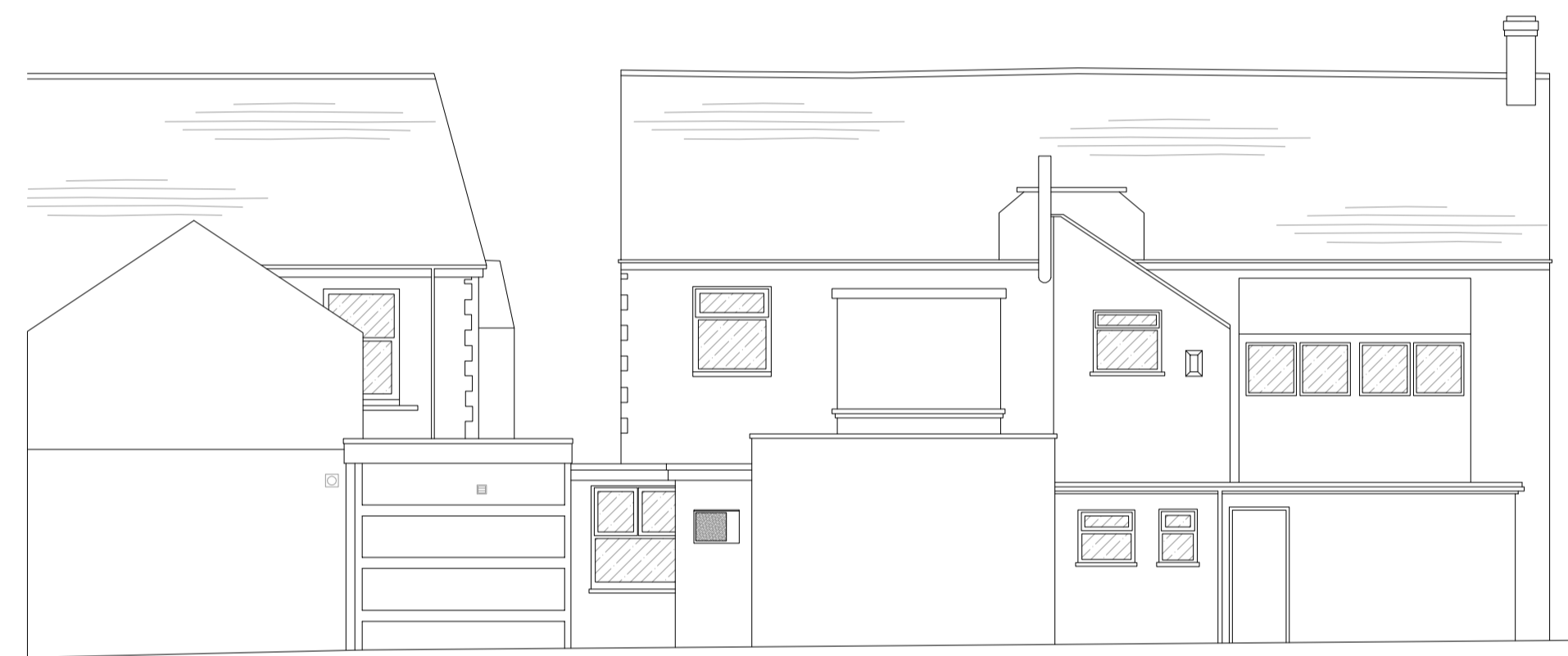
FRONT ELEVATION

DATUM 55m



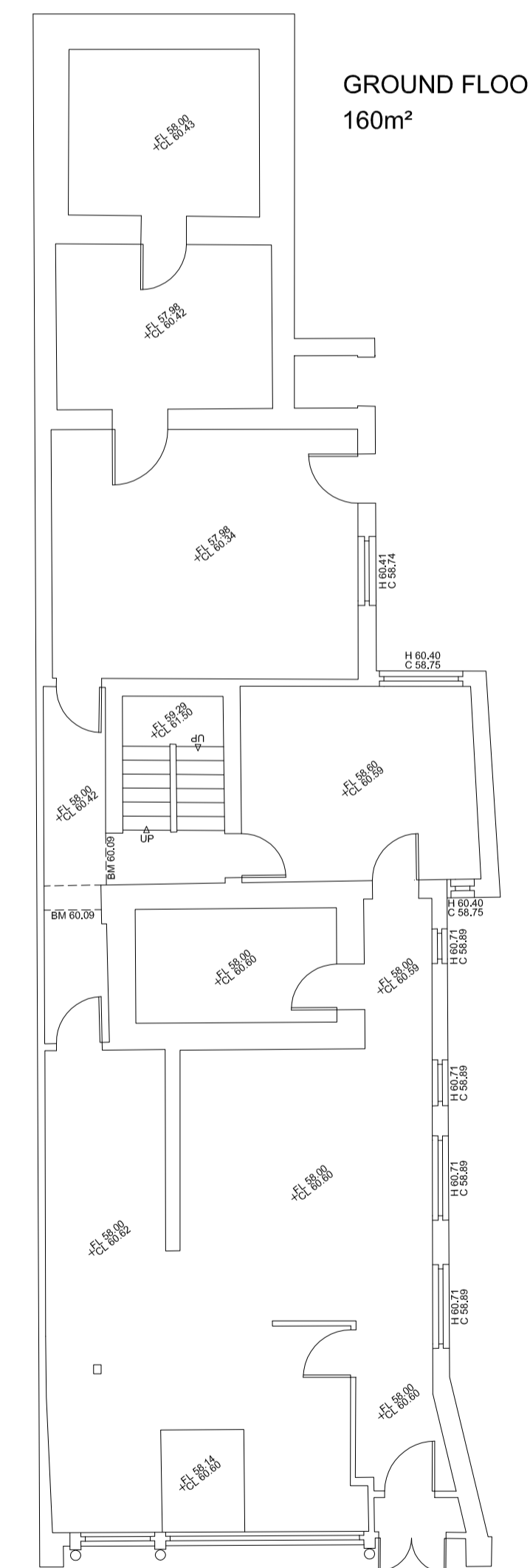
SIDE ELEVATION

DATUM 55m

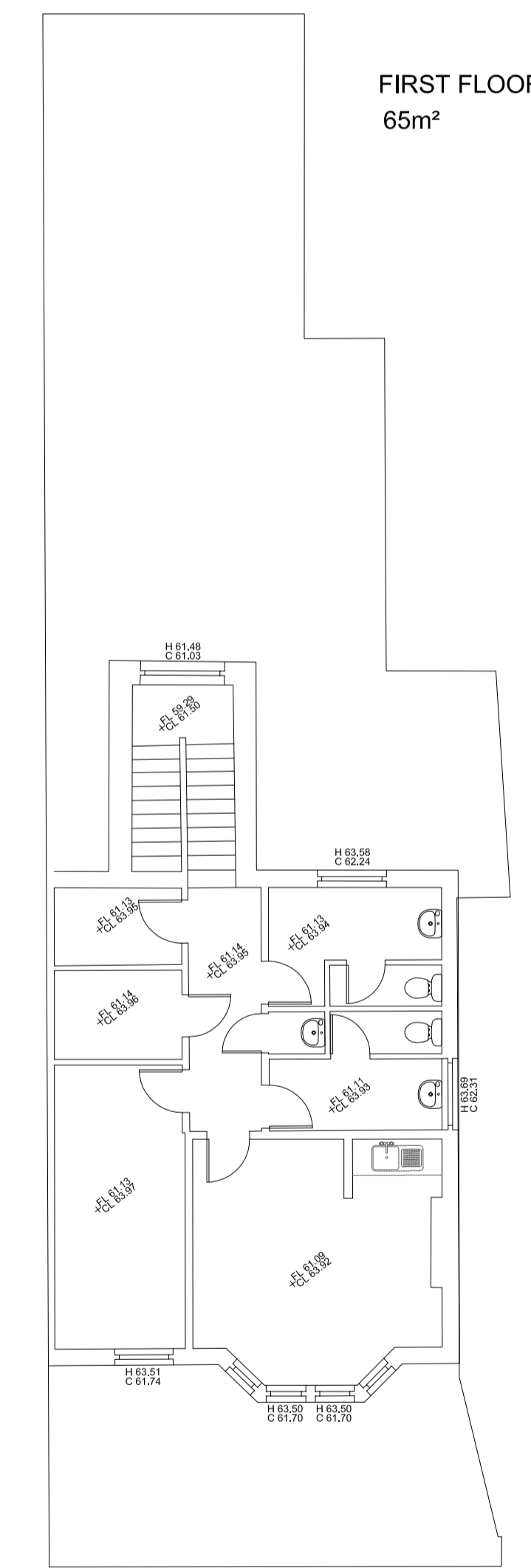


REAR ELEVATION

DATUM 55m



GROUND FLOOR
160m²



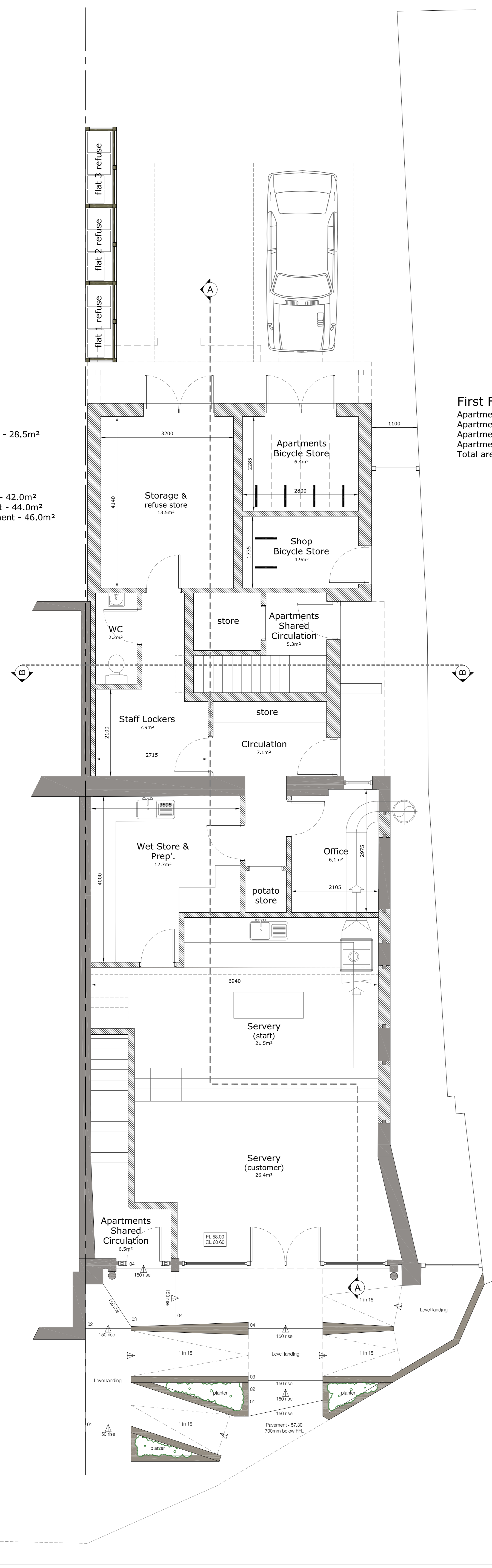
FIRST FLOOR
65m²

Issue	25.06.19	Planning Submission
<p>THIS DRAWING IS TO BE READ IN CONJUNCTION WITH OTHER RELEVANT ARCHITECTURAL AND ENGINEERING DRAWINGS AND SPECIFICATIONS.</p> <p>ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE STATED.</p> <p>ALL DIMENSIONS TO BE CHECKED ON SITE BEFORE ANY WORKING BEGINS.</p> <p>ARCHITECT TO BE MADE AWARE OF ANY CHANGES TO DESIGN OR DIMENSIONS.</p>		
<p>0 1 2 3 4 5 6m</p>		<p>Date: 06.19</p>
<p>Job: 6 Park Road, change of use, extension and alterations</p>		<p>Scale: 1:100@A1</p>
<p>Location: 6 Park Road, Whitchurch, Cardiff, CF48 1PQ.</p>		<p>Dwg No: 223 - AL/99/01</p>
<p>Title: Existing Floor Plans & Elevations</p>		
<p>TEL - 07846 12630, E-MAIL - sam@westfieldarchitects.co.uk 2 Alexander Gate, Floor 2, Penarth, Cardiff, CF24 2SA.</p>		

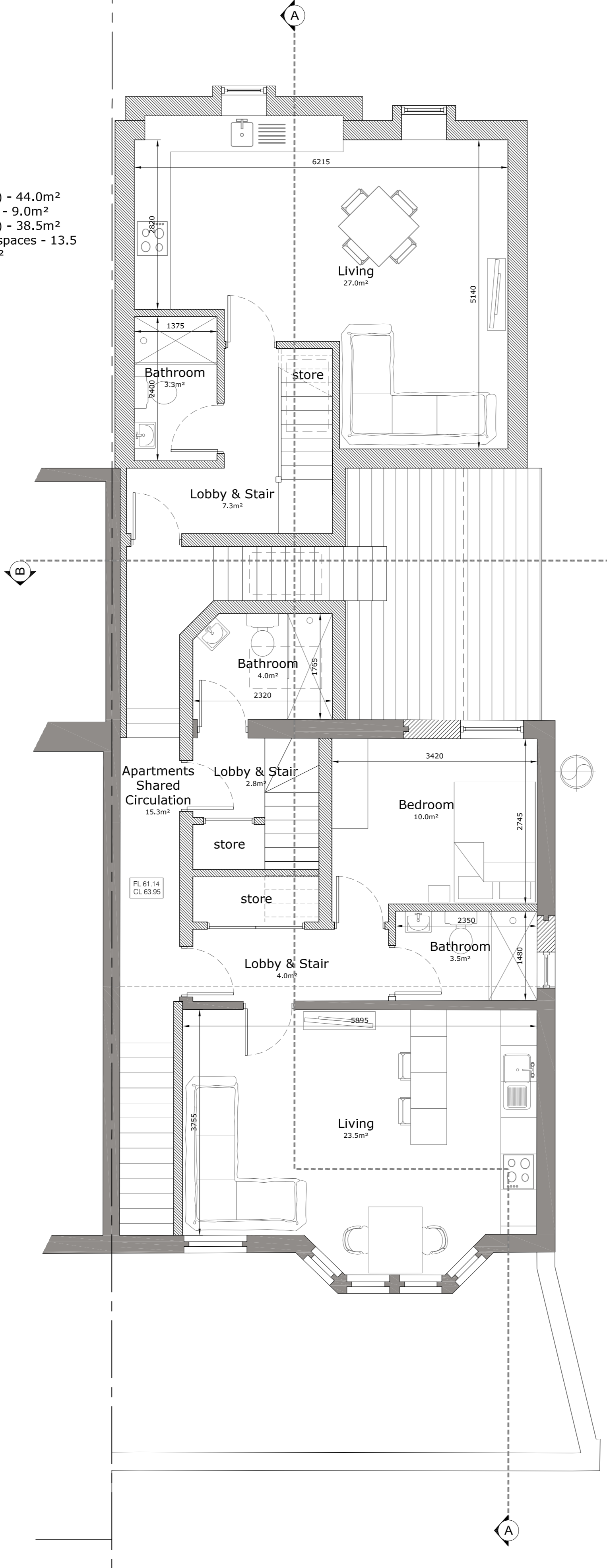


Ground Floor
 Shop - 95.0m²
 Apartments shared spaces - 28.5m²
 Total area - 123.5m²

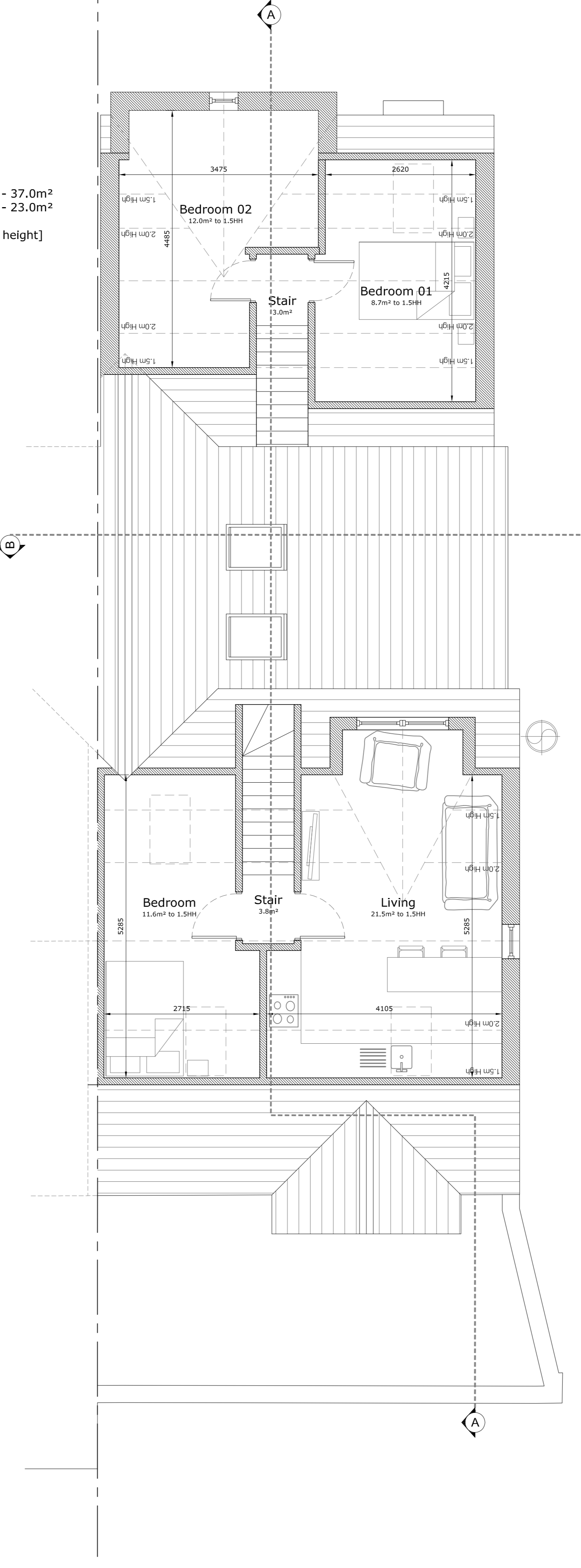
Total floor areas:
 Shop - 95.0m²
 Apartment shared spaces - 42.0m²
 First floor 1 Bed apartment - 44.0m²
 Second floor 1 Bed apartment - 46.0m²
 2 Bed apartment - 57.0m²



First Floor
 Apartment 1 (1 Bed) - 44.0m²
 Apartment 2 (1Bed) - 9.0m²
 Apartment 3 (2 Bed) - 38.5m²
 Apartments shared spaces - 13.5
 Total area - 105.0m²



Roof Spaces
 Apartment 2 (1Bed) - 37.0m²
 Apartment 3 (2Bed) - 23.0m²
 Total area - 60.0m²
 [areas to 1.5m head height]



Proposed Site Layout - 1:100 at A0

Proposed Floor Plans - 1:50 at A0

Issue	21.06.19	Planning submission
Location	6 Park Road, Wiltshire, Castle, G16 1JG	Date: 06.19
Scale	1:50 / 1:100 @ A0	Scale: 1:50 / 1:100 @ A0
File	Proposed Floor Plans	File: 123 - A0 (19)19
<small>TEL: 01916 12020, 04664 - van@westfieldarchitects.co.uk 2 Alexander Gate, Park Road, Castle, G16 1JG</small>		



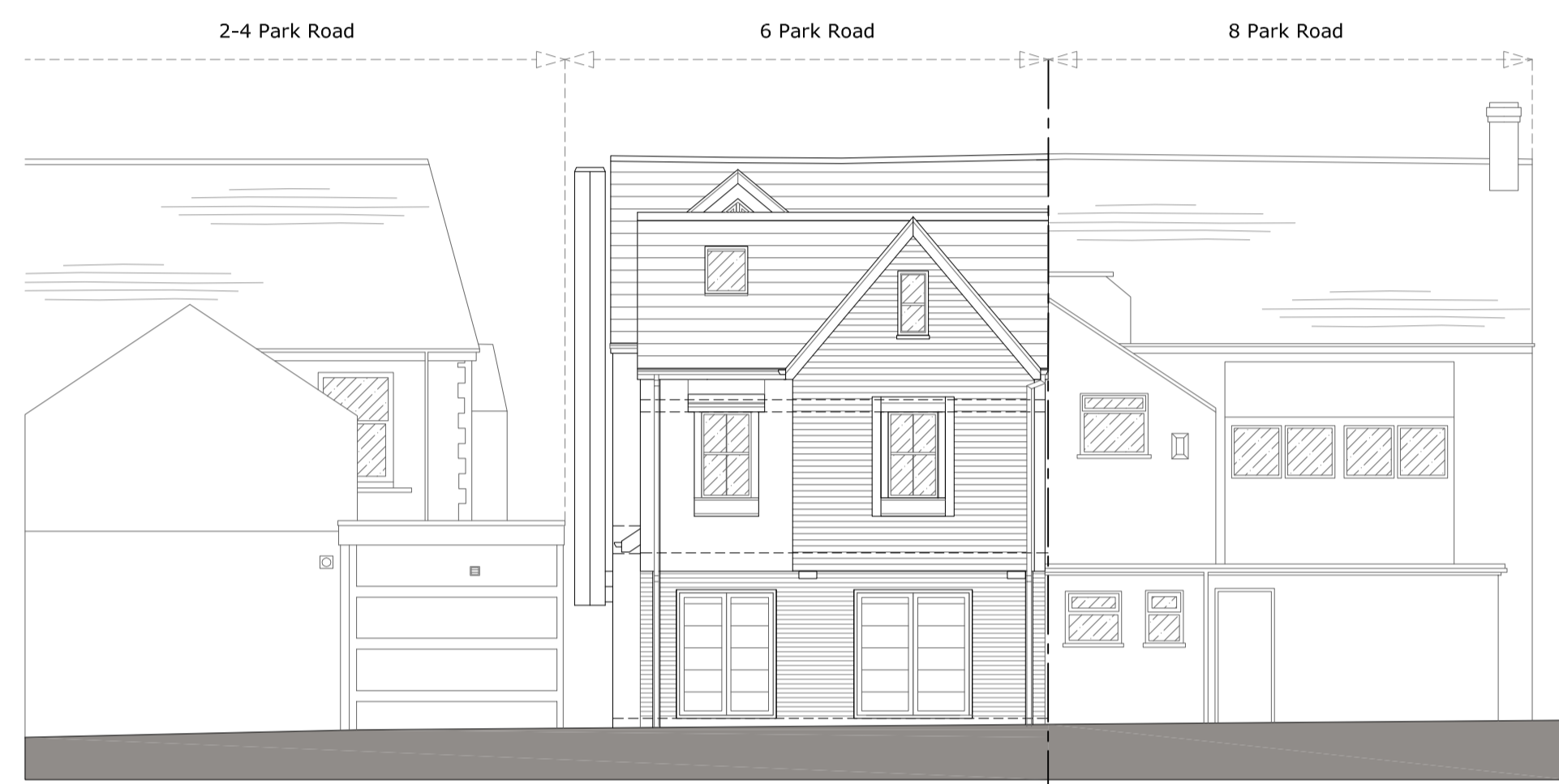
Front Elevation

Datum 55m



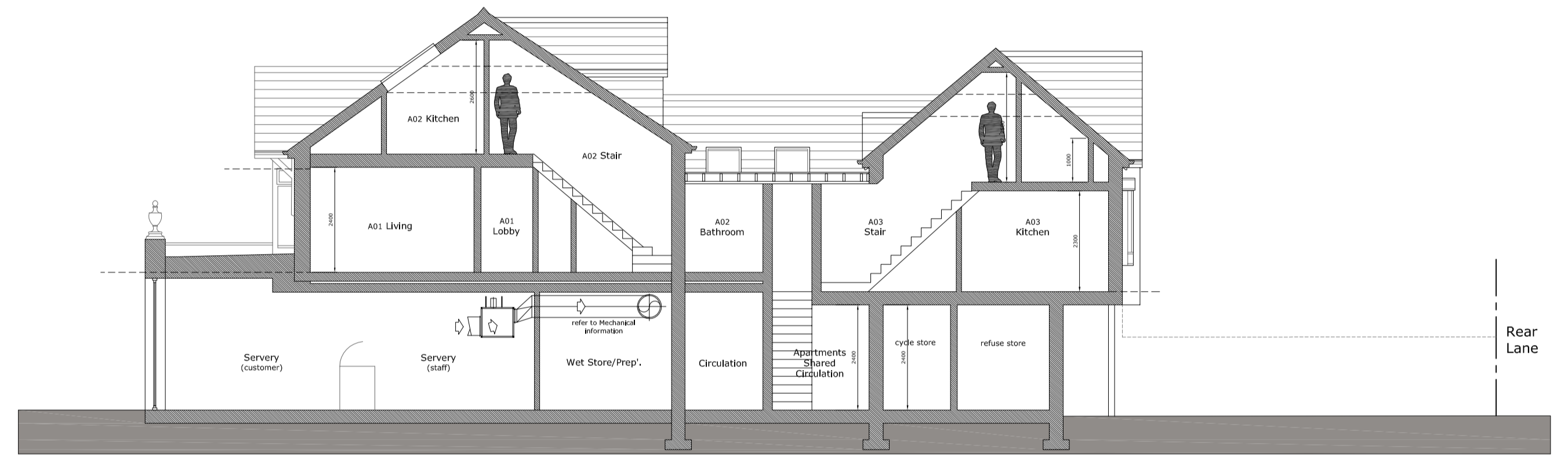
Side Elevation

Datum 55m



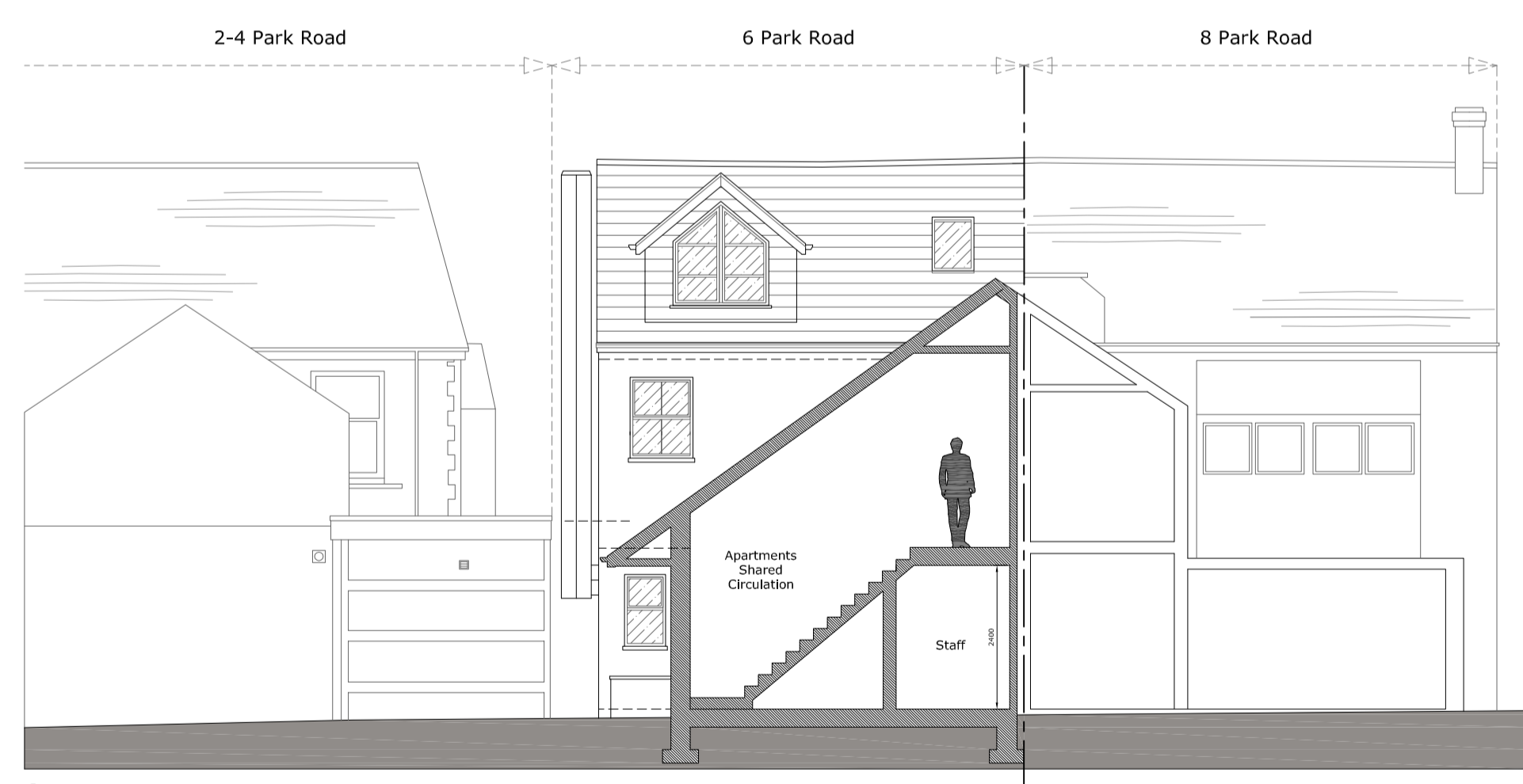
Rear Elevation

Datum 55m



Section A-A

Datum 55m



Section B-B

Datum 55m

Shop front materials:


- Existing bath stone details adjusted, cleaned and refurbished.
- Minimal framing glazed shop front and entrance doors.
- Aluminium composite door to apartments shared access.
- Signage zone increased in height.
- New lighting to signage.

Ramped Access:

- Smooth concrete paving to steps and ramps.
- White render to planters and retaining walls with smooth concrete coping stones.
- frameless glass balustrades.

Extension & refurbishment:

- Roof - Artificial blue/black slate with red clay hanging tiles to proposed dormer window.
- Fascias, soffit and rain water goods - black upvc.
- Windows - White upvc.
- External walls - red, smooth brickwork plinth to match host with smooth white render. Hanging red clay tiles to rear gable feature.
- Doors - Composite rear access doors. Galvanised steel doors to bike and refuse stores.

Issue	26.06.19	Planning submission
 <p>Westfield Architects</p>	<p>• THE DRAWING IS TO BE READ IN CONJUNCTION WITH OTHER RELEVANT ARCHITECTURAL AND ENGINEERING DRAWINGS AND SPECIFICATIONS.</p> <p>• ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE STATED.</p> <p>• ALL DIMENSIONS TO BE CHECKED ON SITE BEFORE AND DURING WORKS.</p> <p>• ARCHITECT TO BE MADE AWARE OF ANY CHANGES TO DESIGN OR DIMENSIONS.</p>	<p>0 1 2 3 4 5 6m</p>
	<p>Job: 6 Park Road, change of use, extension and alterations</p> <p>Date: 06.19</p>	<p>Scale: 1:100@A1</p>
	<p>Location: 6 Park Road, Whitchurch, Cardiff, CF48 1PQ.</p> <p>Title: Proposed Elevations & Sections</p>	<p>Eng No: 223-AL(99)03</p>
	<p>TEL - 07846 126350, E-MAIL - sam@westfieldarchitects.co.uk 2 Alexander Gate, Fford Pengam, Cardiff, CF24 2SA.</p>	

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Applications decided by Delegated Powers between 01/10/2019 and 31/10/2019

Total Count of Applications: 218

ADAM

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/02406/MJR	13/09/2019	Crosslane Student Developments (Howard Gardens) Ltd	DISCHARGE OF CONDITION 6 (SAMPLES OF EXTERNAL FINISHES) OF 17/02618/MJR	BOWLING GREEN, HOWARD GARDENS, HOWARD GARDENS, ADAMSDOWN	27	True	Full Discharge of Condition	10/10/2019
19/02507/MJR	13/09/2019	Galliford Try	DISCHARGE OF CONDITIONS 6 (REMEDICATION AND VERIFICATION) AND 8 (IMPORTATION OF SOILS) OF 17/01901/MJR	FORMER WEST WING, CARDIFF ROYAL INFIRMARY, NEWPORT ROAD, ADAMSDOWN, CARDIFF, CF24 0SZ	31	True	Full Discharge of Condition	14/10/2019
<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/01509/MNR	17/05/2019	Mohamed	RETENTION OF REAR EXTENSION	131 CLIFTON STREET, ADAMSDOWN, CARDIFF, CF24 1LX	161	False	Permission be granted	25/10/2019
19/02488/MNR	11/09/2019	Maya General Trading	TAKE DOWN EXISTING DWELLING AND BUILD NEW DEVELOPMENT COMPRISING 4 SELF CONTAINED FLATS WITH CYCLE PARKING	119 BROADWAY, ADAMSDOWN, CARDIFF, CF24 1QG	44	True	Permission be granted	25/10/2019
19/02351/MNR	28/08/2019	Rendle	THIS TERRACED HOUSE IS DIVIDED INTO 2 ONE-BEDROOMED SELF-CONTAINED FLATS AND HAVE BEEN USED AS TWO SEPARATE FLATS SINCE AT LEAST 1999.	29 DIAMOND STREET, ADAMSDOWN, CARDIFF, CF24 1NQ	62	False	Permission be granted	29/10/2019
A/19/00118/MNR	24/09/2019	EasyHotel UK Limited	CONSENT TO DISPLAY 1NO. INTERNALLY PART ILLUMINATED FASCIA SIGN AND 2NO. INTERNALLY PART ILLUMINATED PROJECTION SIGNS TO FRONT ELEVATION	CROMWELL HOUSE, 1-3 FITZALAN PLACE, ADAMSDOWN, CARDIFF, CF24 0ED	20	True	Permission be granted	14/10/2019

19/02311/MNR	28/08/2019	Alayoubi	RENEWAL OF 13/02706/DCI - 2 STOREY REAR EXTENSION, REAR DORMER AND CONVERSION TO FOUR FLATS	63 STACEY ROAD, ADAMSDOWN, CARDIFF, CF24 1DS	36	True	Permission be granted	03/10/2019
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BUTE

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/02473/MJR	11/09/2019	Platform	DISCHARGE OF CONDITIONS 10 (MATERIALS SPECIFICATION) AND 11 (MATERIALS) OF 18/02383/MJR	FORMER BROWNING JONES AND MORRIS, DUMBALLS ROAD, BUTETOWN, CARDIFF, CF10 5FE	47	True	Full Discharge of Condition	28/10/2019
19/02540/MJR	08/09/2019	Platform Cardiff	DISCHARGE OF CONDITION 12 (ARCHITECTURAL DETAILING) OF 18/02383/MJR	BROWNING JONES AND MORRIS, DUMBALLS ROAD, BUTETOWN, CARDIFF, CF10 5FE	50	True	Partial Discharge of Condition (s)	28/10/2019
19/02012/MJR	22/07/2019	DS Properties (Cardiff Bay) Ltd	DISCHARGE OF CONDITION 24 OF 17/00224/MJR (COMMERCIAL AND DOMESTIC WASTE STORAGE AREAS) INTERIM ARRANGEMENT	CARDIFF BAY STATION, BUTE STREET, BUTETOWN	100	False	Partial Discharge of Condition (s)	30/10/2019
19/02015/MJR	25/07/2019	DS Properties (Cardiff Bay) Ltd	DISCHARGE OF CONDITION 6 (BIN STORAGE FACILITY AND APPROPRIATE COMMERCIAL WASTE COLLECTION ARRANGEMENTS) OF 18/02168/MJR	COFFEE/BAR/RESTAURANT CONTAINER ADJACENT TO FORMER CARDIFF BAY STATION, BUTE STREET, BUTETOWN	97	False	Full Discharge of Condition	30/10/2019
19/02339/MJR	05/09/2019	Associated British Ports	RESERVED MATTERS PURSUANT TO PHASE 1 OF OUTLINE PLANNING PERMISSION 19/01438/MJR IN RESPECT OF ACCESS, APPEARANCE, LANDSCAPING, LAYOUT AND SCALE FOR COMMERCIAL DEVELOPMENT (B2 AND B8 USE CLASSES)	LAND ADJACENT TO LONGSHIPS ROAD AND COMPASS ROAD, CARDIFF BAY	55	True	Permission be granted	30/10/2019

19/02225/MJR	13/08/2019	IM Properties PLC	DISCHARGE OF CONDITIONS 17 (SCHEME OF CONSTRUCTION MANAGEMENT) AND 23 (SCHEME OF HISTORIC ENVIRONMENT MITIGATION) OF 18/02634/MJR	PLOT J, CAPITAL QUARTER, TYNDALL STREET, ATLANTIC WHARF	66	False	Full Discharge of Condition	18/10/2019
19/02620/MJR	27/09/2019	J R Smart (Builders) Ltd	DISCHARGE OF CONDITIONS 22 (IMPORTED AGGREGATES), 23 (IMPORTED TOP-SOILS) AND 24 (SITE WON MATERIALS) OF 16/01749/MJR	UNIT 4, CAPITAL QUARTER, TYNDALL STREET, ATLANTIC WHARF, CARDIFF, CF10 4BZ	20	True	Full Discharge of Condition	17/10/2019
<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/02278/MNR	19/08/2019	DWS	ERECTION OF A STANDALONE CANOPY TO THE ENTRANCE OF THE BUILDING	3 CALLAGHAN SQUARE, BUTETOWN, CARDIFF, CF10 5BT	45	True	Permission be granted	03/10/2019
19/02095/MNR	31/07/2019	Global Mutual	NEW MONUMENT	1 CASPIAN POINT, CASPIAN WAY, CARDIFF BAY, CARDIFF, CF10 4DQ	65	False	Permission be granted	04/10/2019
A/19/00093/MNR	31/07/2019	Global Mutual	SIGNAGE	1 CASPIAN POINT, CASPIAN WAY, CARDIFF BAY, CARDIFF, CF10 4DQ	65	False	Permission be granted	04/10/2019
19/02327/MNR	09/09/2019	GARCIA	DISCHARGE OF CONDITION 4 (DRAINAGE) OF 18/02156/MNR	PART OF LAND AT 13 CRAIGLEE DRIVE, ATLANTIC WHARF, CARDIFF, CF10 4BN	38	True	Full Discharge of Condition	17/10/2019
19/02352/MNR	27/08/2019	Wilton	VARIATION OF CONDITION OF 2 OF 17/02881/MNR TO SUBSTITUTE PROPOSED SOUTHERN ELEVATION DRAWING	1 BUTE ESPLANADE, CARDIFF BAY, CARDIFF, CF10 5BD	38	True	Permission be granted	04/10/2019
19/02353/MNR	27/08/2019	Wilton	DEMOLITION AND RECONSTRUCTION OF EXISTING BUILDING	1 BUTE ESPLANADE, CARDIFF BAY, CARDIFF, CF10 5BD	38	True	Permission be granted	04/10/2019

19/02623/MNR	30/09/2019	Engenie Limited	INSTALLATION OF 2X ELECTRIC VEHICLE CHARGING POINTS ALONGSIDE EXISTING CAR PARKING SPACES, WITH ANCILLARY BOLLARDS, POWER FEEDER PILLAR AND SIGNAGE	BRITANNIA QUAY, CARDIFF BAY, CARDIFF, CF10 4PJ	25	True	Permission be granted	25/10/2019
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CAER

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
A/19/00104/MNR	22/08/2019	Notemachine UK Ltd	INTEGRAL ILLUMINATION AND SCREEN TO THE ATM FASCIA INTERNALLY ILLUMINATED FREE CASH WITHDRAWALS SIGN ABOVE THE ATM BLUE LED HALO ILLUMINATION TO THE SURROUND	2-4 RIVERSIDE TERRACE, CAERAU, CARDIFF, CF5 5AR	42	True	Permission be granted	03/10/2019
19/02333/MNR	23/08/2019	Notemachine UK Ltd	THE RETROSPECTIVE APPLICATION FOR THE INSTALLATION OF AN ATM INSTALLED THROUGH A SECURE PANEL TO THE FAR RIGHT HAND SIDE OF THE SHOP FRONT	2-4 RIVERSIDE TERRACE, CAERAU, CARDIFF, CF5 5AR	49	True	Permission be granted	11/10/2019

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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/01822/DCH	28/06/2019	Gregory	2 STORY SIDE EXTENSION AND A SINGLE STORY REAR EXTENSION	89 ELY ROAD, LLANDAFF, CARDIFF, CF5 2BY	109	False	Permission be granted	15/10/2019
19/02179/DCH	27/08/2019	Lewis	REAR ROOF DORMER EXTENSION WITH ROOF LIGHTS TO FRONT AND ALTERATIONS TO REAR	67 ETHEL STREET, CANTON, CARDIFF, CF5 1EL	62	False	Permission be granted	28/10/2019

19/02121/DCH	09/09/2019	Williams	DEMOLISH EXISTING SINGLE STOREY EXTENSION AND REBUILD NEW SINGLE STOREY EXTENSION AND BOUNDARY WALLS	27 VICTORIA PARK ROAD EAST, CANTON, CARDIFF, CF5 1EH	39	True	Permission be granted	18/10/2019
19/02550/DCH	19/09/2019	Thi Hoai Huong Le	PROPOSED TWO STOREY REAR EXTENSION, WITH ALTERATIONS TO FENESTRATION DESIGN TO SIDE ELEVATION; ALL WITH ASSOCIATED EXTERNAL WORKS	NOLTON, LECKWITH ROAD, CANTON, CARDIFF, CF11 8HP	29	True	Permission be granted	18/10/2019
19/02576/DCH	20/09/2019	WATTS	SINGLE STOREY DETACHED PLAYROOM WITHIN THE REAR GARDEN AREA	146 BRUNSWICK STREET, CANTON, CARDIFF, CF5 1LN	28	True	Permission be granted	18/10/2019
19/02489/DCH	11/09/2019	UNDERLAY	REVISED APPLICATION FOR SINGLE STOREY REAR EXTENSION AND LOFT CONVERSION WITH DORMER AND NEW GABLE WALL	15 AUBREY AVENUE, CANTON, CARDIFF, CF5 1AQ	40	True	Permission be granted	21/10/2019

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19/02617/MJR	16/10/2019	Vale of Glamorgan Council	REQUEST FOR OBSERVATIONS FULL PLANNING APPLICATION FOR THE EXTENSION OF THE EXISTING DEMOLITION AND BUILDING CONTRACTORS YARD (SUI GENERIS) AND RETROSPECTIVE RESURFACING WITH ROAD PLANINGS	Land at Leckwith Bridge Yard, Leckwith Road, Cardiff	0	True	Raise Objections	16/10/2019
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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
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19/01579/MNR	11/06/2019	Sivagnanam	CHANGE OF USE OF GROUND FLOOR SHOP FROM A1 TO A THREE WAY SPLIT BETWEEN ONE A3 (HOT FOOD/ TAKEAWAY PROVISIONS) AND ONE A1 (RETAIL) AT FRONT AND C3 (ONE SINGLE BEDROOM SELF CONTAINED FLAT WITH ADDITIONAL WINDOWS AND PORCH) TO THE REAR.	348-352 COWBRIDGE ROAD EAST, CANTON, CARDIFF, CF5 1HD	125	False	Permission be granted	14/10/2019
A/19/00107/MNR	30/08/2019	Global	UPGRADE OF 1NO. 96-SHEET ADVERTISEMENT HOARDING TO DIGITAL LED DISPLAY	SITE ADJACENT TO 9 SLOPER ROAD, LECKWITH, CARDIFF, CF11 8AD	42	True	Permission be granted	11/10/2019
19/01613/MNR	12/06/2019	Rees	ALTERATIONS INCLUDING FIRST FLOOR EXTENSION AND CHANGE OF USE OF WORKSHOP/OFFICES TO DWELLING	41A NORTHUMBERLAND STREET, CANTON, CARDIFF, CF5 1LZ	117	False	Permission be granted	07/10/2019
18/02444/MNR	17/10/2018	Ojla	TAKE DOWN OUT BUILDINGS AND CONSTRUCTION OF A PAIR OF SEMI DETACHED DWELLINGS WITH ASSOCIATED CAR & CYCLE PARKING.	PART OF LAND AT 544 COWBRIDGE ROAD EAST, CANTON, CARDIFF, CF5 1BN	350	False	Planning Permission be refused	02/10/2019
A/19/00111/MNR	05/09/2019	Wright	NEW FASCIA SIGN ON SHOP FRONT	POD UNIT D, CAPITAL RETAIL PARK, LECKWITH ROAD, CANTON	54	True	Permission be granted	29/10/2019

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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/02257/DCH	14/08/2019	Premier Sales & Lettings	PROPOSED LOFT EXTENSION & ALTERATIONS	78 HARRIET STREET, CATHAYS, CARDIFF, CF24 4BW	70	False	Permission be granted	23/10/2019
19/02355/DCH	29/08/2019	White	SINGLE STOREY REAR EXTENSION AND REAR LOFT DORMER EXTENSION	68 DANIEL STREET, CATHAYS, CARDIFF, CF24 4NY	46	True	Permission be granted	14/10/2019

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/02140/MJR	31/07/2019	Rightacres Property Company Limited	SECTION 73 APPLICATION TO VARY CONDITION 2 (APPROVED PLANS) OF 18/01705/MJR FOR INTERNAL ALTERATIONS TO ENABLE AN INCREASE IN THE NUMBER OF RESIDENTIAL APARTMENTS AND ASSOCIATED MINOR ALTERATIONS TO ELEVATIONS	SITE OF FORMER MARLAND HOUSE AND NCP CAR PARK, CENTRAL SQUARE, CARDIFF	77	False	Permission be granted	16/10/2019
18/02019/MJR	06/09/2018	Cardiff University	ERECTION OF A NEW SCHOOL OF MATHEMATICS AND SCHOOL OF COMPUTER SCIENCE & INFORMATICS BUILDING WITH ANCILLARY WORKS AT SENGHENYDD ROAD, CATHAYS, CARDIFF	LAND AT SENGHENYDD ROAD, CATHAYS	392	False	Permission be granted	03/10/2019
19/02655/MJR	03/10/2019	Rightacres Property Company Limited	DISCHARGE OF CONDITION 22 (REMEDIAL VERIFICATION REPORT) OF 17/01751/MJR	LAND NORTH OF WOOD STREET, CITY CENTRE, CARDIFF, CF10 1XR	13	True	Full Discharge of Condition	16/10/2019
19/02615/MJR	27/09/2019	PMG (CARDIFF) LTD	DISCHARGE OF CONDITIONS 13 (ENCLOSURES), 15 (REFUSE STORAGE PROVISION) 16 (REFUSE MANAGEMENT PLAN) AND 2 (APPROVED PLANS) OF 16/01822/MJR	33-44 CHURCHILL WAY, CITY CENTRE, CARDIFF, CF10 2EA	24	True	Full Discharge of Condition	21/10/2019
19/02500/MJR	16/09/2019	National Museum Wales	DISCHARGE OF CONDITION 8 (ASPHALT WORKS) OF 18/02709/MJR	NATIONAL MUSEUM AND GALLERY OF WALES, GORSEDD GARDENS ROAD, CATHAYS PARK, CARDIFF, CF10 3NP	24	True	Full Discharge of Condition	10/10/2019

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
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19/01886/MNR	02/07/2019	Sapphire QAC Holdings S.E.N.C	PROVISION OF NEW SCAFFOLDING ANCHOR POINTS TO THE FACADE OF A LISTED BUILDING TO ENABLE MAINTENANCE WORKS TO BE UNDERTAKEN IN A SAFE MANNER. MAINTENANCE WORKS INCLUDE CLEANING DOWN AND DECORATION OF THE STUCCO AND PORTLAND STONE ELEVATION. WORKS ALSO INCLUDE DECORATIONS TO BE UNDERTAKEN TO TIMBER WINDOW FRAMES AND VARIOUS LIKE FOR LIKE REPAIRS TO FACADE.	QUEEN STREET CHAMBERS, 24-26 QUEEN STREET, CITY CENTRE	100	False	Permission be granted	10/10/2019
19/01976/MNR	12/07/2019	National Museum Wales	WORKS TO PROVIDE EMERGENCY LIGHTING, FIRE EXIT SIGNAGE, SMOKE DETECTION EQUIPMENT PLUS SMALL POWER OUTLETS IN THE EXISTING COURT ROOM AND LIBRARY	NATIONAL MUSEUM AND GALLERY OF WALES, GORSEDD GARDENS ROAD, CATHAYS PARK, CARDIFF, CF10 3NP	89	False	Permission be granted	09/10/2019
19/01971/MNR	02/08/2019	MBNL	REMOVAL OF THE EXISTING OPERATORS ROOFTOP ANTENNAS AND REPLACED BY 12 NO. APERTURES ON AN 11.1M SUPPORTING STRUCTURE, 2 NO. DISH TO BE RETAINED, 4 NO. CABINETS AND DEVELOPMENT ANCILLARY THERETO ON THE 40M ROOFTOP	TELECOMMUNICATIONS AERIAL, CARDIFF MARRIOTT HOTEL, MILL LANE, CITY CENTRE	62	False	Permission be granted	03/10/2019
19/02226/MNR	12/08/2019	Metro Bank PLC	TO VARY CONDITON 2 RELATING TO ACOUSTICS AND PLANT UNITS - PREVIOUSLY APPROVED UNDER 18/01472/MNR	40-42 QUEEN STREET, CITY CENTRE, CARDIFF, CF10 2BX	50	True	Permission be granted	01/10/2019

19/02228/MNR	09/08/2019	Cardiff University	RELOCATION OF EXISTING WORKSHOP, DIGITAL FABRICATION FACILITIES AND ROBOTIC ARM FROM THE SECOND FLOOR TO A NEW AND EXPANDED LOCATION ON THE GROUND FLOOR. THE PROPOSALS WILL INVOLVE MINOR, PARTIAL DEMOLITION OF THE LISTED BUILDING INCLUDING BREAKING OUT NEW DOOR OPENINGS, TAKING UP SOME EXISTING PARQUET FLOORING AND STRIPPING OUT NON-ORIGINAL WALL LININGS, CEILINGS AND SERVICES. NEW PARTITIONS, GLAZED SCREENS, DOORS AND ACOUSTIC CEILINGS WILL BE INTRODUCED TO SEPARATE THE VARIOUS FUNCTIONS.	BUTE BUILDING, KING EDWARD VII AVENUE, CATHAYS PARK, CARDIFF, CF10 3NB	56	True	Permission be granted	04/10/2019
A/19/00109/MNR	30/08/2019	Solent Pizza	1no Illuminated Posterbox	62 CRWYS ROAD, CATHAYS, CARDIFF, CF24 4NN	49	True	Permission be granted	18/10/2019
19/02379/MNR	02/09/2019	SHAH	PROPOSED 3RD FLOOR EXTENSION TO FORM 4 NO RESIDENTIAL FLATS	7-9 MISKIN STREET, CATHAYS, CARDIFF, CF24 4AP	46	True	Permission be granted	18/10/2019
19/01646/MNR	05/06/2019	Cable	CONVERSION TO INCLUDE CHANGE OF USE FROM 2 FLATS (C3) TO HOUSE IN MULTIPLE OCCUPATION (SUI GENERIS), GROUND FLOOR EXTENSION AND REAR DORMER ROOF EXTENSION	135 WYEVERNE ROAD, CATHAYS, CARDIFF, CF24 4BJ	132	False	Planning Permission be refused	15/10/2019
19/02363/MNR	29/08/2019	Fairoaks Property Limited	CONVERT AN EXISTING 6 BEDROOM HMO TO TWO SEPARATE FLATS	53 RICHARDS STREET, CATHAYS, CARDIFF, CF24 4DB	55	True	Permission be granted	23/10/2019
19/02387/MNR	30/08/2019	AIS	INSTALLATION OF EIGHT VENTILATION GRILLES	2 KINGSWAY, CITY CENTRE, CARDIFF, CF10 3FD	32	True	Permission be granted	01/10/2019
19/02528/MNR	23/09/2019	Mania	TO INSTALL A PIN HOLE SHUTTER IN FRONT OF SHOP FRONT	119 QUEEN STREET, CITY CENTRE, CARDIFF, CF10 2BH	25	True	Planning Permission be refused	18/10/2019

A/19/00116/MNR	19/09/2019	Cygnus Investments	1X NEW FOLDED ALUMINIUM TRAY WITH BUILT UP HALOS ILLUMINATED LETTERS, COOL WHITE ILLUMINATION, VINYL TEXT	5 HIGH STREET, CITY CENTRE, CARDIFF, CF10 1AW	25	True	Permission be granted	14/10/2019
19/02505/MNR	13/09/2019	CHAPTER (CARDIFF) LIMITED	TEMPORARY SITING OF A 12M X 2M SCULPTURE HORIZONTALLY ALONG THE CENTRE OF THE HAYES BETWEEN THE EXISTING TREES OPPOSITE TABERNACLE CHAPEL	THE HAYES, CITY CENTRE, CARDIFF, CF10 1AH	28	True	Permission be granted	11/10/2019
19/02601/MNR	25/09/2019	Troia Restaurats (UK) Ltd	EXTERNAL ALTERATIONS TO THE SHOPFRONT. INSTALLATION OF NEW PLANT EQUIPMENT. CHANGE OF USE OF THE FIRST FLOOR OF NO. 45 THE HAYES TO CLASS A3 RESTAURANT	43 THE HAYES, CITY CENTRE, CARDIFF, CF10 1GA	35	True	Permission be granted	30/10/2019
A/19/00121/MNR	25/09/2019	Troia Restaurats (UK) Ltd	2NO. INTERNALLY ILLUMINATED 'THE IVY' FASCIA SIGNS; 1NO. INTERNALLY ILLUMINATED PROJECTING SIGN; 1NO. INTERNALLY ILLUMINATED MENU BOARD; 5NO. 'THE IVY' SIGNS ATTACHED TO THE PROPOSED UMBRELLAS; 1NO. 'THE IVY' SIGN ATTACHED TO THE PROPOSED BARREL AWNING; AND . 15NO. VINYL 'THE IVY' SIGNS FIXED TO THE PROPOSED PLANTERS	43 THE HAYES, CITY CENTRE, CARDIFF, CF10 1GA	35	True	Permission be granted	30/10/2019
A/19/00125/MNR	03/10/2019	Ted Baker	INTERNALLY ILLUMINATED INTERIOR SUSPENDED SIGN	6-8 ST DAVID'S DEWI SANT, GRAND ARCADE, CITY CENTRE, CARDIFF, CF10 2ER	27	True	Permission be granted	30/10/2019
19/02734/MNR	11/10/2019	Ms Helen Shan	DISCHARGE OF CONDITION 3 (METHOD STATEMENT) OF APPLICATION 19/02228/MNR	BUTE BUILDING, KING EDWARD VII AVENUE, CATHAYS PARK, CARDIFF, CF10 3NB	19	True	Full Discharge of Condition	30/10/2019

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19/01596/DCH	24/06/2019	Trustees of St Fagans Estate	DEMOLITION OF EXISTING SINGLE STOREY EXTENSIONS AND ERECTION OF NEW TWO STOREY EXTENSION AND INTERNAL ALTERATIONS	3 AND 4 CLIVE COTTAGES, CROFFT-Y-GENAU ROAD, ST FAGANS, CARDIFF, CF5 6EE	108	False	Planning Permission be refused	10/10/2019
19/01855/DCH	03/07/2019	Trustees of St Fagans No 1 and 2 Trust	DEMOLITION OF EXISTING SINGLE STOREY EXTENSIONS AND ERECTION OF NEW TWO STOREY EXTENSION AND INTERNAL ALTERATIONS	3-4 CLIVE COTTAGES, CROFFT-Y-GENAU ROAD, ST FAGANS, CARDIFF, CF5 6EE	99	False	Planning Permission be refused	10/10/2019
19/02599/DCH	25/09/2019	Barry	PROPOSED REAR SINGLE STOREY EXTENSION WITH EXISTING CONSERVATORY TO BE REMOVED	15 DEEPFIELD CLOSE, ST FAGANS, CARDIFF, CF5 4SH	27	True	Permission be granted	22/10/2019
19/02361/DCH	18/09/2019	Hulley	DEMOLITION OF EXISTING CONSERVATORY AND LEAN TO AND ERECTION OF SINGLE STOREY REAR EXTENSION	ATHERSTONE, 2 STATION ROAD, CREIGIAU, CARDIFF, CF15 9NT	26	True	Permission be granted	14/10/2019

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19/01815/MJR	04/09/2019	Tarmac Trading Ltd,	DISCHARGE OF CONDITIONS 13 (SITE MANAGEMENT PLAN) AND 48 (SCHEME OF HISTORIC MANAGEMENT) OF 15/01953/MJR	CREIGIAU QUARRY, HEOL PANT-Y-GORED, CREIGIAU, CARDIFF, CF15 9NF	56	True	Full Discharge of Condition	30/10/2019

CYNC

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/01820/DCH	06/09/2019	Khan	PROPOSED REAR EXTENSION WITH INTERNAL ALTERATIONS TO GROUND FLOOR REAR FLAT	67C FIDLAS ROAD, CYNCOED, CARDIFF, CF14 0LX	52	True	Permission be granted	28/10/2019

19/02290/DCH	19/08/2019	Rafique	GROUND FLOOR REAR EXTENSION	198 CYNCOED ROAD, CYNCOED, CARDIFF, CF23 6BQ	64	False	Permission be granted	22/10/2019
19/02326/DCH	03/09/2019	Mr Raymond J Barnsley	LOWER A SECTION OF KERB FOR EASIER ACCESS TO DRIVEWAY	41 FIDLAS ROAD, CYNCOED, CARDIFF, CF14 0LX	50	True	Permission be granted	23/10/2019
19/02235/DCH	14/08/2019	LOWE	PROPOSED SECOND STOREY EXTENSION TO REAR OF PROPERTY AND OTHER ALTERATIONS	66 DAN-Y-COED ROAD, CYNCOED, CARDIFF, CF23 6NE	54	True	Permission be granted	07/10/2019
19/01966/DCH	11/07/2019	Amit	TWO STOREY AND SINGLE STOREY REAR AND SIDE EXTENSIONS WITH REAR DORMER ROOF EXTENSION AND ASSOCIATED WORKS	149 RHYD Y PENAU ROAD, CYNCOED, CARDIFF, CF23 6PZ	95	False	Permission be granted	14/10/2019
19/02203/DCH	12/08/2019	Faria	2 STOREY SIDE EXTENSION AND ROOF DORMER EXTENSION TO REAR	4 EVERARD WAY, LAKESIDE, CARDIFF, CF23 6DP	67	False	Permission be granted	18/10/2019
19/02563/DCH	23/09/2019	Thomas	VARIATION OF CONDITION 2 (DRAWING NUMBERS) OF 18/00135/DCH	66 RHYD Y PENAU ROAD, CYNCOED, CARDIFF, CF23 6PU	32	True	Permission be granted	25/10/2019
19/01562/DCH	11/09/2019	Joshi	2 METER HIGH WALL TO THE FRONT OF MY GARDEN AND 2 METERS EXTENDING INTO MY GARDEN BETWEEN NUMBER 4A FIDLAS ROAD AND 2 FIDLAS ROAD	2 FIDLAS ROAD, CYNCOED, CARDIFF, CF14 0NB	30	True	Permission be granted	11/10/2019
19/02470/DCH	09/09/2019	Kollamparambil	SINGLE STOREY EXTENSION TO REAR OF PROPERTY	28 HURON CRESCENT, LAKESIDE, CARDIFF, CF23 6DT	39	True	Permission be granted	18/10/2019

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18/03013/MJR	21/12/2018	Scimitar Homes (Cyncoed) Ltd	PROPOSED DEMOLITION OF EXISTING PROPERTY AND ERECTION OF 12 NO. APARTMENTS (NET GAIN OF 7 NO. ADDITIONAL APARTMENTS), COMPRISING AN EDWARDIAN STYLED BUILDING AT THE FRONT AND SIDES AND A CONTEMPORARY DESIGN AT THE REAR, WITH UNDERGROUND CAR PARKING, LANDSCAPING AND ASSOCIATED WORKS.	8 CEFN COED ROAD, CYNCOED, CARDIFF, CF23 6AQ	300	False	Permission be granted	17/10/2019
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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
A/19/00097/MNR	07/08/2019	S A Brain and Company Limited	NEW SIGNS	THREE ARCHES, HEATHWOOD ROAD, CYNCOED, CARDIFF, CF14 4HS	69	False	Permission be granted	15/10/2019
18/02656/MNR	19/11/2018	Pearson	NEW DETACHED DWELLING INCLUDING DEMOLITION OF EXISTING BUNGALOW	43 LLYSWEN ROAD, CYNCOED, CARDIFF, CF23 6PP	333	False	Permission be granted	18/10/2019

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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/02086/DCH	31/07/2019	Mr Petre Buzdugan	TWO STOREY EXTENSION TO SIDE AND REAR ELEVATION AND EXTENSION TO LOBBY AND CELLAR + RETROSPECTIVE PERMISSION FOR PARTIALLY CONSTRUCTED ANCILLIARY OUTBUILDING	12 CHARTERIS CRESCENT, ELY, CARDIFF, CF5 4EX	86	False	Permission be granted	25/10/2019
19/02483/DCH	12/09/2019	Hurley	DOUBLE SIDE EXTENSION AND A SINGLE STOREY LEAN-TO REAR EXTENSION	8 ARCHER CRESCENT, ELY, CARDIFF, CF5 4EY	41	True	Permission be granted	23/10/2019

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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/02491/DCH	13/09/2019	Pearson	PROPOSED SINGLE STOREY EXTENSION TO SIDE	160 BWLCH ROAD, FAIRWATER, CARDIFF, CF5 3EF	47	True	Permission be granted	30/10/2019
19/02543/DCH	18/09/2019	stah	PROPOSED PORCH TO FRONT ELEVATION	50 BEECH ROAD, PENTREBANE, CARDIFF, CF5 3TX	42	True	Permission be granted	30/10/2019
19/01713/DCH	02/08/2019	Povey	CONSTRUCTION OF NEW PORCH, SIDE AND REAR EXTENSION, REAR DORMER AND FINISH OF EXTERNAL FACADES CHANGED FROM BRICKWORK TO RENDER	44 MAPLE ROAD, PENTREBANE, CARDIFF, CF5 3TY	77	False	Permission be granted	18/10/2019
18/02402/DCH	11/10/2018	Riaz	REMOVAL OF THE EXISTING SIDE EXTENSION, NEW SINGLE STOREY EXTENSION AND ALTERATIONS TO LODGE	FAIRWOOD LODGE, 101 LLANTRISANT ROAD, FAIRWATER, CARDIFF, CF5 2PW	376	False	Permission be granted	22/10/2019
19/02586/DCH	24/09/2019	blake	SINGLE STOREY ADDITION TO REAR/GABLE ELEVATION	193 BWLCH ROAD, FAIRWATER, CARDIFF, CF5 3EE	31	True	Permission be granted	25/10/2019
19/02451/DCH	06/09/2019	TOWEL	CONSTRUCTION OF A DORMER WINDOW TO THE REAR ELEVATION OF AN EXISTING DWELLING	85 PWLLMELIN ROAD, FAIRWATER, CARDIFF, CF5 3QA	31	True	Permission be granted	07/10/2019

GABA

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/02342/MNR	29/08/2019	Notemachine UK Ltd	THE RETROSPECTIVE APPLICATION FOR THE INSTALLATION OF AN ATM INSTALLED THROUGH A SECURE PANEL TO THE RIGHT HAND SIDE OF THE SHOP ENTRANCE	268 NORTH ROAD, GABALFA, CARDIFF, CF14 3BL	34	True	Permission be granted	02/10/2019

A/19/00106/MNR	29/08/2019	Notemachine UK Ltd	INTEGRAL ILLUMINATION AND SCREEN TO THE ATM FASCIA INTERNALLY ILLUMINATED FREE CASH WITHDRAWALS SIGN ABOVE THE ATM BLUE LED HALO ILLUMINATION TO THE SURROUND	268 NORTH ROAD, GABALFA, CARDIFF, CF14 3BL	34	True	Permission be granted	02/10/2019
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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/02513/MJR	13/09/2019	Wales & West Housing Association Ltd	DISCHARGE OF CONDITION 3 (PROGRAMME OF HISTORIC BUILDING RECORDING AND ANALYSIS) OF LISTED BUILDING CONSENT 16/03066/MJR	ST PAUL'S CHURCH, PAGET STREET, GRANGETOWN, CARDIFF, CF11 7LA	47	True	Full Discharge of Condition	30/10/2019

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19/02334/MNR	23/08/2019	WM Morrisons Supermarkets PLC	DISCHARGE OF CONDITIONS 5, 6 AND 7 (REMEDICATION) OF 18/02205/MNR	WM MORRISONS, INTERNATIONAL DRIVE, GRANGETOWN, CARDIFF, CF11 0JP	47	True	Full Discharge of Condition	09/10/2019
19/02395/MNR	02/09/2019	Wales & West Housing Association Ltd	TEMPORARY CHANGE OF USE FROM USE CLASS C3 (DWELLINGHOUSE) TO USE CLASS B1 (BUSINESS) TO PROVIDE A TEMPORARY SITE OFFICE FOR THE REFURBISHMENT AND PARTIAL CONVERSION TO ST. PAUL'S CHURCH (PREVIOUS APPLICATIONS 16/03065/MJR & 16/03066/MJR) AND CONSTRUCTION OF 4 NEW FLATS (PREVIOUS APPLICATION 18/02941/MNR)	ST PAULS VICARAGE, LLANMAES STREET, GRANGETOWN, CARDIFF, CF11 7LR	38	True	Permission be granted	10/10/2019

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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/02382/DCH	29/08/2019	Bux	VARIATION OF CONDITION 2 OF 19/00468/DCH APPROVED PLANS TO BE AMENDED FROM 03 TO 03-A	6 ST HELEN'S ROAD, HEATH, CARDIFF, CF14 4AR	53	True	Planning Permission be refused	21/10/2019
19/02315/DCH	22/08/2019	Evans	LOFT CONVERSION TO INCLUDE CONSTRUCTION OF HIP TO GABLE EXTENSION AND REAR DORMER	45 RHYDHELIG AVENUE, HEATH, CARDIFF, CF14 4DB	42	True	Permission be granted	03/10/2019
19/02522/DCH	16/09/2019	Gouveia	SINGLE STOREY EXTENSION TO SIDE	32 MANOR WAY, WHITCHURCH, CARDIFF, CF14 1RH	43	True	Permission be granted	29/10/2019
19/02196/DCH	09/08/2019	Burris	TO PROVIDE A TWO STOREY SIDE EXTENSION TO REAR OF MAIN HOUSE PLUS EXTEND THE EXISTING REAR SINGLE STOREY EXTENSION TO PROVIDE FURTHER LIVING ACCOMODATION NEW KITCHEN/UTILITY & BATHROOM & IMPROVE BEDROOM 3 AT FIRST FLOOR. EXISTING OUTBUILDING TO REAR TO BE DEMOLISHED.	18 ST MALO ROAD, HEATH, CARDIFF, CF14 4HN	77	False	Permission be granted	25/10/2019
19/02520/DCH	13/09/2019	BARRY	EXTENSION AND ALTERATIONS TO DWELLING	19 MAES-Y-COED ROAD, HEATH, CARDIFF, CF14 4HA	42	True	Permission be granted	25/10/2019
19/02504/DCH	12/09/2019	Mrs L S Bray	RENEWAL OF PLANNING PERMISSION 14/01918/DCH FOR THE DEMOLITION OF EXISTING DETACHED GARAGE AND CONSTRUCTION OF A SINGLE STOREY SIDE AND REAR EXTENSION	21 MAES-Y-COED ROAD, HEATH, CARDIFF, CF14 4HA	39	True	Permission be granted	21/10/2019
19/02462/DCH	09/09/2019	Roe	LOFT CONVERSION, HIP TO GABLE WITH REAR DORMA EXTENSION	1 HEOL GWYNEDD, BIRCHGROVE, CARDIFF, CF14 4PJ	30	True	Permission be granted	09/10/2019

19/02472/DCH	10/09/2019	Hansell	LOFT CONVERSION, HIP TO GABLE EXTENSION AND FULL WIDTH FLAT WIDTH DORMER. SLATED TO MATCH EXISTING, OBSCURE GLAZED WINDOW TO GABLE END, 2 X VELUX WINDOWS TO FRONT ELEVATION	9 HOMELANDS ROAD, BIRCHGROVE, CARDIFF, CF14 1UH	29	True	Permission be granted	09/10/2019
19/02637/DCH	30/09/2019	Michael	SINGLE STOREY SIDE EXTENSION FALLS UNDER PERMITTED DEVELOPMENT RIGHTS	41 PUM ERW ROAD, BIRCHGROVE, CARDIFF, CF14 4PE	30	True	Permission be granted	30/10/2019
19/02545/DCH	18/09/2019		LEAN TO CONSERVATORY TO REAR, SET OFF A PREVIOUS EXTENSION	70 TY'N-Y-PARC ROAD, WHITCHURCH, CARDIFF, CF14 6BQ	37	True	Permission be granted	25/10/2019
19/02389/DCH	24/09/2019	Llewellyn	SIDE & REAR EXTENSION	34 GREENFIELD ROAD, WHITCHURCH, CARDIFF, CF14 1TE	35	True	Permission be granted	29/10/2019
19/02524/DCH	18/09/2019	Bickel	PROPOSED REAR SINGLE STOREY EXTENSION	1 PUM ERW ROAD, BIRCHGROVE, CARDIFF, CF14 4PE	37	True	Permission be granted	25/10/2019

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19/02596/MJR	25/09/2019	Wates Residential	DISCHARGE OF CONDITION 17 (CEMP) OF 17/02464/MJR	FORMER HIGHFIELDS CENTRE, 18 ALLENSBANK ROAD, HEATH, CARDIFF, CF14 3RB	29	True	Full Discharge of Condition	24/10/2019
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19/01371/MNR	23/05/2019	Davies	CONSTRUCTION OF COACH HOUSE DWELLING WITH INTEGRAL GARAGE AND WALLED GARDEN	REAR OF 183, CAERPHILLY ROAD, BIRCHGROVE, CARDIFF, CF14 4QD	154	False	Permission be granted	24/10/2019
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19/02259/DCH	16/08/2019	Borley	NEW SINGLE STOREY GROUND FLOOR EXTENSION	11 CHURCH CLOSE, LISVANE, CARDIFF, CF14 0SL	67	False	Permission be granted	22/10/2019
19/02270/DCH	15/08/2019	Lisvane Baptist church	DEMOLITION OF GROUND FLOOR AND A NEW SLAB AND FOUNDATIONS CONSTRUCTED AMENDING WINDOWS AND RE-ALIGNMENT OF ROOF - PREVIOUSLY APPROVED UNDER 18/02971/DCH	32 PLAS Y DELYN, LISVANE, CARDIFF, CF14 0ST	63	False	Permission be granted	17/10/2019

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19/01051/MJR	02/04/2019	Redrow Homes	DISCHARGE OF CONDITIONS 9 (CONSTRUCTION ENVIRONMENTAL AND MANAGEMENT PLAN), 13 (TREES), 15 (SOIL) AND 25 (INVASIVE SPECIES) OF 14/02891/MJR	PHASE 1B (i), CHURCHLANDS LAND NORTH AND EAST OF LISVANE, LISVANE, CARDIFF	197	False	Full Discharge of Condition	16/10/2019
19/02041/MJR	22/07/2019	Waterstone Homes	DISCHARGE OF CONDITION 3 (CEMP) OF 18/01439/MJR	MOOR LYNCH, RUDRY ROAD, LISVANE, CARDIFF, CF14 0SN	91	False	Full Discharge of Condition	21/10/2019
19/02275/MJR	16/08/2019	Kier Living Wales and West	DISCHARGE OF CONDITION 16 (EDP ECOLOGY MANAGEMENT STRATEGY) OF 14/02891/MJR IN RESPECT OF PHASE 3 KIER LIVING	PHASE 3, CHURCHLANDS LAND NORTH AND EAST OF LISVANE, MAERDY LANE, LISVANE	63	False	Full Discharge of Condition	18/10/2019
19/01878/MJR	02/07/2019	Redrow Homes	TO SUBSTITUTE DRAWING REFERENCE R.0448_22 REV B WITH R.0448_22 REV C - PREVIOUSLY APPROVED UNDER 18/02222/MJR	CHURCHLANDS LAND NORTH AND EAST OF LISVANE, MAERDY LANE, LISVANE	92	False	Permission be granted	02/10/2019

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A/19/00102/MNR	20/08/2019	Kier Living Wales and West	A BANNER SIGN MEASURING 6.1M BY 2.5M HIGH, AFFIXED TO POSTS WITH AN OVERALL HEIGHT OF 5M	PHASE 3, CHURCHLANDS LAND NORTH AND EAST OF LISVANE, LISVANE, CARDIFF	44	True	Permission be granted	03/10/2019
19/00615/MNR	18/03/2019	BALL	NEW 3 BEDROOM HOUSE ON LAND FORMERLY USED AS GARAGES AND ANNEXE SPACE AS PART OF EXISTING 4 BEDROOM HOUSE ON SAME SITE. MINOR ALTERATIONS TO EXISTING HOUSE. AMENDMENTS TO FRONT AND REAR GARDEN SPACE TO PROVIDE AMENITY SPACE AND PARKING FOR NEW HOUSE, ALTERATIONS TO EXISTING VEHICLE CROSS OVER FROM ROAD	78 MILL ROAD, LISVANE, CARDIFF, CF14 0UG	205	False	Permission be granted	09/10/2019
19/02476/MNR	10/09/2019	Cole	INCREASE THE PROPOSED PORCH FROM ONE TO TWO STOREY. INCORPORATING THE PORCH AREA UNDER THE MAIN PITCH ROOF, REMOVING THE SINGLE STOREY FLAT ROOF AND STEP TO THE EXTERNAL WALL. JOIN BOTH DORMERS SHOWN ON THE REAR ELEVATION TO CREATE MORE HEADROOM WITHIN THE BEDROOM AREAS PREVIOUSLY APPROVED UNDER 19/01171/MNR	BROWN HAZEL, MAERDY LANE, LISVANE, CARDIFF, CF14 0PE	51	True	Permission be granted	31/10/2019

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19/02444/DCH	06/09/2019	Thomas	SECOND STOREY SIDE EXTENSION OVER GARAGE	BRYN RHOSYN, 12 BRIARMEADOW DRIVE, THORNHILL, CARDIFF, CF14 9FB	52	True	Permission be granted	28/10/2019

19/01858/DCH	28/06/2019	Bird	PROPOSED EXTENSION TO PROVIDE HOME OFFICE ON GROUND FLOOR WITH MASTER BEDROOM OVER. IMPROVEMENTS TO ENTRANCE HALLWAY.	20 COPPERFIELD DRIVE, LLANISHEN, CARDIFF, CF14 9DD	119	False	Planning Permission be refused	25/10/2019
19/01280/DCH	24/04/2019	Harrison	DEMOLISH GARAGE AND SINGLE STOREY EXTENSION. CONSTRUCTING NEW GARAGE; SINGLE STOREY EXTENSION; HIP TO GABLE ROOF EXTENSION AND REAR DORMER	20 EWENNY ROAD, LLANISHEN, CARDIFF, CF14 0NT	173	False	Permission be granted	14/10/2019
19/02600/DCH	27/09/2019	Randall-Smith	SINGLE STOREY REAR EXTENSION	21 EVEREST WALK, LLANISHEN, CARDIFF, CF14 5AX	32	True	Permission be granted	29/10/2019
<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/02622/MJR	30/09/2019	Wates Residential	DISCHARGE OF CONDITION 14 (IMPORTED SOIL ASSESSMENT) OF 16/01558/MJR	WALKER HOUSE CHILDRENS HOME, 158 FIDLAS ROAD, LLANISHEN, CARDIFF, CF14 5LZ	24	True	Full Discharge of Condition	24/10/2019
<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/02455/MNR	09/09/2019	N D Holdings	CONSTRUCT NEW ENTRANCE LOBBY AND RECEPTION AREA	LAMBOURNE HOUSE, LAMBOURNE CRESCENT, LLANISHEN, CARDIFF, CF14 5GL	37	True	Permission be granted	16/10/2019
19/02663/MNR	07/10/2019	Woods	DISCHARGE OF CONDITION 4 (CYCLE STORAGE PROVISIONS) OF 19/02033/MNR	60 FISHGUARD CLOSE, LLANISHEN, CARDIFF, CF14 5QG	3	True	Full Discharge of Condition	10/10/2019

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19/02344/DCH	29/08/2019	Jackson-Webb	PROPOSED SINGLE-STOREY REAR AND TWO-STOREY SIDE EXTENSION (AND ASSOCIATED ALTERATION WORKS)	52 DE BRAOSE CLOSE, DANESCOURT, CARDIFF, CF5 2DJ	46	True	Permission be granted	14/10/2019
19/02251/DCH	13/08/2019	Rogers	SINGLE STOREY REAR EXTENSION TO KITCHEN	4 MITRE PLACE, LLANDAFF, CARDIFF, CF5 2EQ	70	False	Permission be granted	22/10/2019
19/02534/DCH	17/09/2019	Philip	SINGLE STOREY SIDE AND REAR EXTENSION	4 BLETHIN CLOSE, DANESCOURT, CARDIFF, CF5 2RR	35	True	Permission be granted	22/10/2019

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
18/02456/MJR	19/10/2018	Insole Court Trust	DISCHARGE OF CONDITIONS 8 - EXTERNAL FINISHING MATERIALS 12 - REFUSE 24 - FUME EXTRACTION 25 - SUMMERHOUSE RENOVATIONS 27 - BOLLARDS 28 - EXTERNAL LIGHTING OF 12/00207/DCO	INSOLE COURT, FAIRWATER ROAD, LLANDAFF, CARDIFF, CF5 2LN	363	False	Full Discharge of Condition	17/10/2019

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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/01710/DCH	12/06/2019	Slowinski	SINGLE STOREY REAR EXTENSION	20 COLLEGE ROAD, LLANDAFF NORTH, CARDIFF, CF14 2JY	111	False	Permission be granted	01/10/2019

19/02430/DCH	05/09/2019	Meah	SINGLE STOREY REAR EXTENSION	95 COLLEGE ROAD, LLANDAFF NORTH, CARDIFF, CF14 2NR	48	True	Permission be granted	23/10/2019
19/02459/DCH	09/09/2019	Clarke	GROUND FLOOR REAR EXTENSION & ROLLER SHUTTER ENCLOSURE TO REAR PARKING	GROUND FLOOR FLAT, 15 BRIDGE ROAD, LLANDAFF NORTH, CARDIFF, CF14 2JL	37	True	Permission be granted	16/10/2019

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
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19/02210/MNR	09/08/2019	Mr Gupreet Singh	SINGLE STOREY REAR EXTENSION TO FORM STORAGE AREA TO GROUND FLOOR RETAIL SHOP	129-131 STATION ROAD, LLANDAFF NORTH, CARDIFF, CF14 2FE	56	True	Permission be granted	04/10/2019
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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
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19/02096/DCH	01/08/2019	Chowdhury	DEMOLISH EXISTING SINGLE STOREY REAR EXTENSION AND REPLACE WITH A LARGER SINGLE STOREY. EXTEND EXISTING HIPPED PITCHED ROOF TO FORM A GABLE WALL AND CONVERT LOFT SPACE	717 NEWPORT ROAD, LLANRUMNEY, CARDIFF, CF3 4FD	78	False	Permission be granted	18/10/2019
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19/02343/DCH	23/08/2019	Smith	REPLACEMENT PORCH TO FRONT OF PROPERTY	56 BURNHAM AVENUE, LLANRUMNEY, CARDIFF, CF3 5LQ	63	False	Permission be granted	25/10/2019
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19/02377/DCH	28/08/2019	Mr Paul Agius	REAR GROUND FLOOR SINGLE STOREY BATHROOM EXTENSION	232 BURNHAM AVENUE, LLANRUMNEY, CARDIFF, CF3 5PE	34	True	Permission be granted	01/10/2019
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19/02381/DCH	02/09/2019	James	SINGLE STOREY SIDE EXTENSION	34 PATCHWAY CRESCENT, LLANRUMNEY, CARDIFF, CF3 4AH	30	True	Permission be granted	02/10/2019
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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
A/19/00108/MNR	30/08/2019	Solent Pizza	1NO INTERNALLY ILLUMINATED POSTERBOX	759 NEWPORT ROAD, LLANRUMNEY, CARDIFF, CF3 4AJ	49	True	Permission be granted	18/10/2019

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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/02394/DCH	02/09/2019	Fillard	RETENTION OF FENCE TO EXISTING BOUNDARY WALL	342 COED-Y-GORES, LLANEDEYRN, CARDIFF, CF23 9NQ	43	True	Permission be granted	15/10/2019
19/01960/DCH	22/07/2019	Joseph	SINGLE STOREY SIDE EXTENSIONS FOR ENLARGED ENTRANCE & STORAGE AREA AND DOUBLE STOREY REAR EXTENSION TO INCLUDE GARAGE & BEDROOM WITH EN-SUITE	84 WAUN FACH, PENTWYN, CARDIFF, CF23 7BD	80	False	Planning Permission be refused	10/10/2019
19/02417/DCH	05/09/2019	jones	TWO STOREY EXTENSION TO END OF TERRACE RESIDENTIAL PROPERTY	125 HOLLYBUSH ROAD, PENTWYN, CARDIFF, CF23 7AG	55	True	Permission be granted	30/10/2019
19/02408/DCH	03/09/2019	Khalifa	SINGLE STOREY EXTENSION	21 WYNCLIFFE GARDENS, PENTWYN, CARDIFF, CF23 7FA	30	True	Permission be granted	03/10/2019

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/02437/MNR	05/09/2019	Ail	RENEWAL OF PLANNING PERMISSION 14/02124/MNR FOR A NEW DWELLING	251 THE HAWTHORNS, PENTWYN, CARDIFF, CF23 7AU	50	True	Permission be granted	25/10/2019
19/02148/MNR	08/08/2019	SRJ & JG Partnership Limited	NEW 2 STOREY OFFICE ACCOMMODATION WITH ASSOCIATED PARKING	VISION COURT, CAXTON PLACE, PENTWYN, CARDIFF, CF23 8HA	67	False	Permission be granted	14/10/2019

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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/00963/DCH	25/03/2019	Phillips	SINGLE STOREY REAR EXTENSION, DOUBLE STOREY SIDE EXTENSION	47 EGREMONT ROAD, PENYLAN, CARDIFF, CF23 5LP	207	False	Permission be granted	18/10/2019
19/01961/DCH	11/07/2019	Mills	SINGLE STOREY SIDE EXTENSION AND MODIFICATION OF EXISTING REAR EXTENSION	11 KIMBERLEY ROAD, PENYLAN, CARDIFF, CF23 5DH	88	False	Permission be granted	07/10/2019
19/02183/DCH	07/08/2019	Haris	RETENTION OF DRIVEWAY CREATED, ALTERATIONS TO PART BOUNDARY WALL FACING EGREMONT ROAD AND PROVISION OF ACCESS STEPS WITH ACCESSIBILITY STAIRLIFT- ALL INCIDENTAL TO THE ENJOYMENT OF THE HOST DWELLING AND ELDERLY OCCUPANTS	4 EGREMONT ROAD, PENYLAN, CARDIFF, CF23 5LN	61	False	Permission be granted	07/10/2019
19/00365/DCH	20/02/2019	c/o Agent	CONSTRUCTION OF A NEW DRIVEWAY AND CROSS-OVER	10 CYNCOED ROAD, PENYLAN, CARDIFF, CF23 5SG	245	False	Planning Permission be refused	23/10/2019
19/02399/DCH	03/09/2019	Hooper	EXTENSION TO REAR DORMERS	53 OAK WOOD AVENUE, PENYLAN, CARDIFF, CF23 9EZ	49	True	Permission be granted	22/10/2019

19/02471/DCH	10/09/2019	Birt	LOFT CONVERSION. HIP TO GABLE EXTENSION, TILED TO MATCH EXISTING ROOF. GABLE END WINDOW IS 1.5M X 2M ANGLED TO MATCH THE SLOPE OF THE ROOF. 3 X VELUX WINDOWS TO FRONT ELEVATION AND 2 X VELUX WINDOWS TO REAR ELEVATION	8 ARNSIDE ROAD, PENYLAN, CARDIFF, CF23 5LL	34	True	Permission be granted	14/10/2019
19/02629/DCH	01/10/2019	DUFFY	REDUCED 2 STOREY EXTENSIONS TO SINGLE STOREY, RETAIN EXISTING HIPPED ROOF STRUCTURE, REMOVED EXTENSION OVER EXISTING GARAGE - PREVIOUSLY APPROVED UNDER 19/01762/DCH	61 CYNCOED ROAD, PENYLAN, CARDIFF, CF23 5SB	9	True	Permission be granted	10/10/2019
19/02641/DCH	01/10/2019	Lim	DEMOLITION OF EXISTING GARAGE AND PART REAR EXTENSION. PROPOSED 2 STOREY SIDE EXTENSION WITH SINGLE STOREY REAR EXTENSION. PROPOSED REMODELLING TO FRONT ELEVATION	1 BRONWYDD CLOSE, PENYLAN, CARDIFF, CF23 5RA	29	True	Permission be granted	30/10/2019
<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/01459/MNR	15/05/2019	Jefferies	DISCHARGE OF CONDITIONS 3 (EXTERNAL FABRIC MATERIALS) AND 5 (DRAINAGE SCHEME) OF 18/02846/MNR	16 LLWYN-Y-GRANT TERRACE, PENYLAN, CARDIFF, CF23 9EW	147	False	Full Discharge of Condition	09/10/2019
19/01460/MNR	20/05/2019	Ahmed	CONSTRUCTION OF NEW DWELLING	PART OF LAND AT 1 WOODLAND RISE, TY-GWYN ROAD, PENYLAN, CARDIFF, CF23 5JF	143	False	Permission be granted	10/10/2019
19/01529/MNR	03/06/2019	WILLY	CONVERSION OF FOUR BED DWELLING INTO 2NO 2 BEDROOM APARTMENTS AND REAR DORMER	24 ALMA ROAD, ROATH, CARDIFF, CF23 5BD	126	False	Planning Permission be refused	07/10/2019

19/02087/MNR	26/07/2019	Cardiff United Synagogue	PROPOSED RE-ROOFING OF THE EXISTING SYNAGOGUE	CARDIFF UNITED SYNAGOGUE, CYNCOED GARDENS, PENYLAN, CARDIFF, CF23 5SL	81	False	Permission be granted	15/10/2019
A/19/00124/MNR	03/10/2019	Travis Perkins	1 NO. PART ILLUMINATED WICKES BUILDING SIGN, 2 NO. PART ILLUMINATED FLEXFACE WICKES SIGNS, 4 NO. SETS OF PRODUCT LETTERS ,1 NO. WELCOME SIGN, 1 SET OF 2 POSTER FRAMES	507 NEWPORT ROAD, PENYLAN, CARDIFF, CF23 9AD	7	True	Permission be granted	10/10/2019
19/02587/MNR	24/09/2019	Fitzsimmons	AMEND THE PITCHED ROOF TO THE SIDE AND REAR OF THE GROUND FLOOR TO A FLAT ROOF. THE ROOF FINISH AMENDED FROM SLATE WITH SKYLIGHTS TO A FLAT ROOF WITH DARK GREY METAL FACIA AND SKYLIGHTS. WINDOWS ADDED TO THE FIRST FLOOR ENSUITE BATHROOM AND GROUND FLOOR WC - PREVIOUSLY APPROVED UNDER 17/00609/DCH	115 KIMBERLEY ROAD, PENYLAN, CARDIFF, CF23 5DP	24	True	Permission be granted	18/10/2019

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19/02368/DCH	28/08/2019	JONES	CONVERSION OF 8 BEDROOM HMO TO 4 FLATS	78 RICHMOND ROAD, ROATH, CARDIFF, CF24 3AT	47	True	Permission be granted	14/10/2019
19/02130/DCH	31/07/2019	Joshi	TWO STOREY REAR EXTENSION OVER STORE	124 CYFARTHFA STREET, ROATH, CARDIFF, CF24 3HH	72	False	Planning Permission be refused	11/10/2019
<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>

19/02021/MJR	18/07/2019	DG1 Developments Ltd	PROPOSED TEMPORARY CHANGE OF USE OF STUDENT ACCOMMODATION TO RESIDENTIAL (C3)	CITY HEIGHTS APARTMENTS, 199-209 CITY ROAD, ROATH, CARDIFF, CF24 3JR	91	False	Permission be granted	17/10/2019
<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/02229/MNR	20/08/2019	Dadam	CONVERSION OF THE THREE EXISTING BEDSITS INTO 2 STUDIO FLATS, RETAINING THE EXISTING SELF-CONTAINED FLATS UNCHANGED AND THE ERECTION OF REAR EXTENSION ON THE FIRST FLOOR	143 RICHMOND ROAD, ROATH, CARDIFF, CF24 3BS	56	True	Permission be granted	15/10/2019
19/01723/MNR	11/07/2019	Mr Zaky	GROUND FLOOR REAR SMOKING AND OUTDOOR SEATING BUILDING	240 CITY ROAD, ROATH, CARDIFF, CF24 3JJ	96	False	Permission be granted	15/10/2019
19/02264/MNR	15/08/2019	Mr Khaled Al Ramadan	CHANGE OF USE FROM CAR REPAIR GARAGE TO COFFEE SHOP AND SMOKING AREA ANCILLARY TO THE COFFE SHOP WITH NEW SHOP FRONT AND ALTERATIONS	119-121 CITY ROAD, ROATH, CARDIFF, CF24 3BP	60	False	Permission be granted	14/10/2019
19/02154/MNR	02/08/2019	BASE SUPPORT SERVICES	CHANGE OF USE FROM (C4) TO (C2) USAGE	21 CONNAUGHT ROAD, ROATH, CARDIFF, CF24 3PT	77	False	Permission be granted	18/10/2019
19/02272/MNR	16/08/2019	GREASE MONKEYS	INSTALL NEW EXTRACTION SYSTEM TO EXISTING CAR BODY SPRAY BOOTH	GREASE MONKEYS, PENLLINE STREET, ROATH, CARDIFF, CF24 3BD	56	True	Permission be granted	11/10/2019
19/02414/MNR	04/09/2019	Mujib	VARIATION OF CONDITION 7 (REVISED PLANS) AS APPROVED IN 10/02266/DCI	151 ALBANY ROAD, ROATH, CARDIFF, CF24 3NT	49	True	Permission be granted	23/10/2019
19/02384/MNR	29/08/2019	HSBC Corportate Real Estate	INSTALLATION OF TWO NEW CCTV CAMERAS	94-96 ALBANY ROAD, ROATH, CARDIFF, CF24 3RT	35	True	Permission be granted	03/10/2019

19/02531/MNR	17/09/2019	Maya Capital LLP	CHANGE OF USE OF GROUND FLOOR FROM B1 TO A1/A3	EASTGATE HOUSE, 35-43 NEWPORT ROAD, ROATH, CARDIFF, CF24 0AB	38	True	Permission be granted	25/10/2019
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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/02040/DCH	25/07/2019	Dr. Sara Saffar-Concejo	PROPOSED FIRST FLOOR EXTENSION OVER EXISTING GARAGE AND TWO STOREY SIDE / REAR EXTENSION	4 COURTENAY CLOSE, OLD ST MELLONS, CARDIFF, CF3 5UL	81	False	Permission be granted	14/10/2019

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19/01159/MJR	15/04/2019	Bellway Homes Limited Wales	DISCHARGE OF CONDITIONS 6 (HARD AND SOFT LANDSCAPING) AND 7 (CROSS SECTIONS SHOWING THE PROPOSED SLAB LEVEL AND ANY RETAINING WALLS OF THE 6 HOUSES) OF 18/00397/MJR	LAND AT HIGHFIELDS, CHURCH ROAD, OLD ST MELLONS	172	False	Full Discharge of Condition	04/10/2019

19/02480/MJR	10/09/2019	Persimmon Homes East Wales	Discharge of Condition 18 (archaeology) of 13/00578/DCO	LAND EAST OF CHURCH ROAD AND NORTH AND SOUTH OF, BRIDGE ROAD, OLD ST MELLONS	23	True	Full Discharge of Condition	03/10/2019
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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/01324/MNR	10/05/2019	Harrington	ERECTION OF DETACHED STABLE BLOCK INCORPORATING TACK ROOM AND WASH ROOM	CEFN EURWG, DRUIDSTONE ROAD, OLD ST MELLONS, CARDIFF, CF3 6XD	145	False	Planning Permission be refused	02/10/2019

19/02526/MNR	16/09/2019	Light	APPLICATION FOR THE CONVERSION OF AN EXISTING GARAGE INTO AN INTERNAL ROOM. REPLACE EXISTING GARAGE DOOR WITH A NEW PVC WINDOW TO MATCH THE EXISTING WINDOWS ON THE FRONT ELEVATION	52 DARTINGTON DRIVE, PONTPRENNAU, CARDIFF, CF23 8SA	24	True	Permission be granted	10/10/2019
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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/02298/MNR	20/08/2019	Short Bros (Developments) Ltd	DISCHARGE OF CONDITION 6 (INFILTRATION SYSTEM) OF 18/02759/MNR	LAND AT FAIRFIELD INDUSTRIAL ESTATE, MAIN ROAD, GWAELOD-Y-GARTH, CARDIFF, CF15 8LA	51	True	Full Discharge of Condition	10/10/2019

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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/02453/DCH	09/09/2019	Richards	REAR DORMER LOFT CONVERSION TILED TO MATCH THE EXISTING ROOF	4 HEOL Y CWM, MORGANSTOWN, CARDIFF, CF15 8FG	28	True	Permission be granted	07/10/2019
19/02449/DCH	06/09/2019	Evans	SINGLE STOREY REAR EXTENSION	12 GRAIG LWYD, RADYR, CARDIFF, CF15 8BG	28	True	Permission be granted	04/10/2019

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19/02082/MNR	27/08/2019	Lewis-Chapman	RENEWAL OF PLANNING PERMISSION 17/01202/MNR - TEMPORARY 2 YEAR CHANGE OF USE FROM C3 RESIDENTIAL TO B1 OFFICE	THE BUNGALOW, RADYR GOLF CLUB, DRYSGOL ROAD, RADYR, CARDIFF, CF15 8BS	37	True	Permission be granted	03/10/2019
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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/02113/DCH	12/08/2019	JONES	GROUND FLOOR REAR EXTENSION, PLUS FRONT & REAR DORMER LOFT EXTENSIONS AND ALTERATIONS	9 CLOS YR WENALLT, RHIWBINA, CARDIFF, CF14 6TW	67	False	Permission be granted	18/10/2019
19/01046/DCH	27/03/2019	Llewellyn Williams	PROPOSED SINGLE STOREY EXTENSION TO REAR	49 PEN-Y-DRE, RHIWBINA, CARDIFF, CF14 6EJ	209	False	Permission be granted	22/10/2019
19/01047/DCH	27/03/2019	Llewellyn Williams	PROPOSED SINGLE STOREY EXTENSION TO REAR	49 PEN-Y-DRE, RHIWBINA, CARDIFF, CF14 6EJ	209	False	Permission be granted	22/10/2019
19/01571/DCH	29/05/2019	Simmonds	DEMOLITION OF EXISTING CONSERVATORY AND CONSTRUCTION OF NEW BUILD EXTENSION IN ITS PLACE, ALONG WITH CHANGING THE HIPPED ROOF INTO A GABLE TO ACCOMMODATE A NEW LOFT EXTENSION.	114 HEOL UCHAF, RHIWBINA, CARDIFF, CF14 6SR	149	False	Permission be granted	25/10/2019
19/02404/DCH	03/09/2019	Gainey	PROPOSED TWO STOREY EXTENSION TO THE SIDE OF THE PROPERTY AND SINGLE STOREY EXTENSION TO THE REAR OF THE PROPERTY	5 MAES YR HAF, PANTMAWR, CARDIFF, CF14 7HG	31	True	Permission be granted	04/10/2019
19/02405/DCH	06/09/2019	Shrimpton	PROPOSED TWO STOREY REAR & SIDE EXTENSION	165 PANTMAWR ROAD, PANTMAWR, CARDIFF, CF14 6US	35	True	Permission be granted	11/10/2019

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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/02324/DCH	22/08/2019	TURNER	REPLACEMENT OF EXISTING WINDOWS	63 CATHEDRAL ROAD, PONTCANNA, CARDIFF, CF11 9HE	69	False	Permission be granted	30/10/2019
19/02415/DCH	05/09/2019	Grzesik	ALTERATIONS TO CREATE NEW MEANS OF ESCAPE TO FRONT OF BASEMENT FLAT	FLAT 1, 25 FITZHAMON EMBANKMENT, RIVERSIDE, CARDIFF, CF11 6AN	53	True	Permission be granted	28/10/2019
19/02026/DCH	19/07/2019	Nicholls	LOFT CONVERSION WITH REAR DORMER AND TWO ROOFLIGHTS; NEW WINDOWS AND BI-FOLD DOORS TO REAR	2 RYDER STREET, PONTCANNA, CARDIFF, CF11 9BR	102	False	Permission be granted	29/10/2019
19/01021/DCH	02/04/2019	Ahmed	REPLACEMENT WINDOWS IN FRONT, SIDE AND REAR ELEVATIONS AND REPLACEMENT DOOR TO SIDE ELEVATION.	172 CATHEDRAL ROAD, PONTCANNA, CARDIFF, CF11 9JD	197	False	Permission be granted	16/10/2019
19/02206/DCH	09/08/2019	Cheetham	REMOVAL OF GROUND FLOOR OF REAR ANNEXE, CREATION OF LARGER GROUND FLOOR REAR AND SIDE EXTENSIONS	6 PEN-HILL ROAD, PONTCANNA, CARDIFF, CF11 9PQ	62	False	Permission be granted	10/10/2019
19/02193/DCH	09/08/2019	Davies	SINGLE STOREY EXTENSION TO SIDE AND REAR OF ANNEXE	27 TEILO STREET, PONTCANNA, CARDIFF, CF11 9JN	55	True	Permission be granted	03/10/2019
19/02397/DCH	02/09/2019	Hall	TO REPLACE ARTIFICIAL SLATE PORCH ROOF COVERING WITH GLASS AND TO REPLACE A PAIR OF WINDOWS WITH A SINGLE WINDOW TO FRONT GROUND FLOOR ELEVATION AS APPROVED IN 18/01311/DCH	MEWS HOUSE, 46 SOPHIA WALK, PONTCANNA, CARDIFF, CF11 9LE	30	True	Permission be granted	02/10/2019
19/02356/DCH	02/09/2019	Jones	PROPOSED PITCH ROOF OVER EXISTING TWO-STOREY BAY TO FRONT, AND DORMER LOFT EXTENSION TO REAR ROOF	146 KING'S ROAD, PONTCANNA, CARDIFF, CF11 9DG	29	True	Permission be granted	01/10/2019

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19/02010/MJR	17/07/2019	Portabella CF11 Limited	DEMOLITION OF STRUCTURES ON SITE TO MAKE WAY FOR FUTURE DEVELOPMENT	REAR OF 35 ROMILLY CRESCENT AND 70-72 LLANDAFF ROAD, PONTCANNA, CARDIFF	100	False	Prior Approval be granted	25/10/2019

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19/01828/MNR	24/06/2019	Caramella	CHANGE OF USE OF AN EXISTING RESTAURANT TO 2NO. SELF CONTAINED APARTMENTS, PLUS FIRST FLOOR EXTENSION OVER A PART OF THE GROUND FLOOR ACCOMMODATION AND REAR DORMER	14 ROMILLY CRESCENT, PONTCANNA, CARDIFF, CF11 9NR	123	False	Permission be granted	25/10/2019
18/01397/MNR	26/06/2018	Pacifico Ltd	RENOVATION OF WORKSHOP & OFFICES, INCLUDING FIRST FLOOR EXTENSION AND REAR DORMER AND NEW FIRST FLOOR ON COACH HOUSE IN ORDER TO FORM 1 BED DETACHED DWELLING & TWO 2 BED MAISONETTES	73 SEVERN ROAD, PONTCANNA, CARDIFF, CF11 9EA	492	False	Planning Permission be refused	31/10/2019
19/00600/MNR	14/03/2019	Vodafone Ltd	THE REMOVAL OF SIX EXISTING ANTENNAS AND THEIR REPLACEMENT WITH SIX ANTENNAS, UPON EXISTING SUPPORT POLES. THESE ANTENNA WORKS ARE ACCOMPANIED BY A SINGLE SMALL GPS MODULE FITTED TO ONE OF THE ANTENNA SUPPORT POLES AND ANCILLARY WORKS WITHIN THE EXTANT GROUND BASED CABIN	14 CATHEDRAL ROAD, PONTCANNA, CARDIFF, CF11 9LJ	211	False	Permission be granted	11/10/2019

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19/02201/DCH	14/08/2019	DIAMOND	PROPOSED SINGLE STOREY EXTENSION TO THE REAR OF THE PROPERTY WITH RAISED DECK	44 DOWNTON RISE, RUMNEY, CARDIFF, CF3 3BH	49	True	Permission be granted	02/10/2019
19/02386/DCH	02/09/2019	Sheehan	DOUBLE STOREY REAR ELEVATION EXTENSION AND SINGLE STOREY SIDE ELEVATION EXTENSION	55 HARRIS AVENUE, RUMNEY, CARDIFF, CF3 1QB	53	True	Permission be granted	25/10/2019

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19/02667/MJR	04/10/2019	ELMYA	TO AMEND CONDITIONS 3, 4, 5 AND 16 IN RESPECT OF THE FENCING AND REMOVE CONDITION 11 RELATING TO CONTAMINATED LAND MEASURES FROM THE PREVIOUSLY APPROVED CONSENT NUMBERED 19/00397/MJR	LAMBY WAY LANDFILL SITE, LAMBY WAY, WENTLOOG, CARDIFF, CF3 2HP	24	True	Permission be granted	28/10/2019

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19/02347/MNR	27/08/2019	Singh	REMOVAL OF GABLE END WALLS OF Nos 102A-104 TO FORM LINK BETWEEN TWO RETAIL AREAS, FORMING NEW STORE ROOM IN No. 102A AND FORMING NEW ACCESS STAIRS TO FIRST FLOOR FLAT OVER No. 102A TO REPLACE EXISTING STAIRCASE	102-104 WENTLOOG ROAD, RUMNEY, CARDIFF, CF3 3EA	56	True	Permission be granted	22/10/2019
19/01814/MNR	05/07/2019	First Choice Housing Association Ltd	USE AS A PARTLY RESIDENTIAL CARE AND PARTLY DOMICILARY CARE	244 NEW ROAD, RUMNEY, CARDIFF, CF3 3EF	96	False	Permission be granted	09/10/2019

A/19/00119/MNR	02/10/2019	Kumon Cardiff Rumney Study Centre	ADVERTISEMENTS ON THE FRONT AND SIDE DISPLAYING THE WORDS 'KUMON MATHS ENGLISH'. THEY WILL SIT ABOVE THE SIGN FOR CARDIFF LAUNDERETTE	790 NEWPORT ROAD, RUMNEY, CARDIFF, CF3 4FH	16	True	Permission be granted	18/10/2019
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19/02416/MJR	04/09/2019	Dogs Trust	DISCHARGE OF CONDITION 26 (ARTIFICIAL LIGHTING) OF 17/01824/MJR	PROPOSED DOGS TRUST REHOMING CENTRE, NETTLEFOLD ROAD, SPLOTT	51	True	Full Discharge of Condition	25/10/2019

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19/02317/MNR	21/08/2019	Travis Perkins	INSTALL OF NEW WINDOWS IN EAST ELEVATION	CCF, TRIDENT INDUSTRIAL PARK, GLASS AVENUE, SPLOTT	42	True	Permission be granted	02/10/2019
19/02548/MNR	19/09/2019	Andrews	CHANGE OF USE FROM B2 TO CHEERLEADING, DANCE AND ACROBATICS SCHOOL (D2). ALTERATIONS TO INCLUDE A NEW ROOF AND A CHANGE OF A ROLLER SHUTTER DOOR TO GLAZED PANEL AND FRONT DOOR.	CENTAUR PROPERTY ESTATES LIMITED UNIT 16A, CLYDESMUIR ROAD INDUSTRIAL ESTATE, CLYDESMUIR ROAD, TREMORFA, CARDIFF, CF24 2QS	29	True	Permission be granted	18/10/2019

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19/02202/DCH	08/08/2019	Mr Derhim Pani	FIRST FLOOR SIDE EXTENSION AND TWO STOREY/SINGLE STOREY REAR EXTENSION	12 FENVIOLET CLOSE, ST MELLONS, CARDIFF, CF3 0RB	60	False	Planning Permission be refused	07/10/2019
19/02260/DCH	15/08/2019	Roberts	CONSTRUCTION OF TWO STOREY SIDE EXTENSION TO PROVIDE ADDITIONAL BEDROOM, BATHROOM AND LIVING ACCOMMODATION	12 LODWICK RISE, ST MELLONS, CARDIFF, CF3 0NY	56	True	Permission be granted	10/10/2019
19/02461/MNR	11/09/2019	Cucinella	SINGLE STORY REAR EXTENSION	22 PENRHYN CLOSE, TROWBRIDGE, CARDIFF, CF3 1RN	41	True	Permission be granted	22/10/2019
19/02454/DCH	06/09/2019	Wawman	GROUND FLOOR ALTERATIONS TO FORM ELDERLY ACCOMMODATION WITH ADDITIONAL REAR SUN ROOM AND FIRST FLOOR SIDE EXTENSION TO FORM ADDITIONAL BEDROOM	27 MAES-Y-CROCHAN, ST MELLONS, CARDIFF, CF3 0EL	54	True	Permission be granted	30/10/2019
19/02509/DCH	16/09/2019	MOXHAM SANDERS	SINGLE STOREY REAR EXTENSION	48 WILLIAM BELCHER DRIVE, ST MELLONS, CARDIFF, CF3 0NZ	32	True	Permission be granted	18/10/2019

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19/01210/MNR	22/07/2019	Oakfield Primary School	INSTALLATION OF TWO SHELTERS -ONE AT THE FRONT OF THE SCHOOL AND ONE AT THE REAR	OAKFIELD PRIMARY SCHOOL, FERNTREE DRIVE, ST MELLONS, CARDIFF, CF3 0AA	88	False	Permission be granted	18/10/2019

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19/02239/DCH	15/08/2019	John	REMOVAL OF GARAGE AND CONSTRUCTION OF A SINGLE STOREY REAR EXTENSION AND RAISED PATIO AREA	74 PARK AVENUE, WHITCHURCH, CARDIFF, CF14 7AN	64	False	Permission be granted	18/10/2019

19/02231/DCH	12/08/2019	Griffiths	LOFT CONVERSION WITH HIP TO GABLE ROOF EXTENSION & REAR DORMER, GROUND FLOOR PORCH	23 HEOL-Y-FORLAN, WHITCHURCH, CARDIFF, CF14 1AX	56	True	Permission be granted	07/10/2019
19/01950/DCH	10/07/2019	Thomas	THE EXISTING DORMER ROOF LINE IS TO REMAIN AS EXISTING NOT BE ALTERED AS PER THE PROPOSED PLANS - PREVIOUSLY APPROVED UNDER 17/01722/DCH	1 KELSTON PLACE, WHITCHURCH, CARDIFF, CF14 2AP	83	False	Planning Permission be refused	01/10/2019
19/02419/DCH	05/09/2019	Seward	PROPOSED DEMOLITION OF GARAGE AND THE CONSTRUCTION OF TWO STOREY / SINGLE STOREY REAR EXTENSION WITH PATIO. ALSO, THE WIDENING OF THE EXISTING PEDESTRIAN & VEHICLE ENTRANCE	27 HEOL-Y-WAUN, WHITCHURCH, CARDIFF, CF14 1LB	54	True	Permission be granted	29/10/2019
19/02401/DCH	02/09/2019	Suller	REMOVAL OF INTERIOR WALLS, SMALL EXTENSION. NEW BI-FOLD DOORS TO REAR	45 HEOL DON, WHITCHURCH, CARDIFF, CF14 2AS	56	True	Permission be granted	28/10/2019
19/02497/DCH	12/09/2019	Gardener	INTERNAL ALTERATIONS TO ROOM LAYOUTS INCLUDING RELOCATING KITCHEN TO REAR OF PROPERTY. VAULTING THE EXISTING ROOF PROFILE ABOVE PROPOSED KITCHEN/DINING WITH THE INSTALLATION OF SKYLIGHTS AND GABLE WALL GLAZING. ALTERING EXISTING FRONT DOOR AND DEEPENING PORCH AREA INTERNALLY	1 HEOL CATTWG, WHITCHURCH, CARDIFF, CF14 1JQ	34	True	Permission be granted	16/10/2019
19/02519/DCH	16/09/2019	Mrs Lauren Underwood	REMOVE EXISTING CONSERVATORY TO REAR OF DWELLING AND REPLACE WITH A SINGLE STOREY EXTENSION	42 KELSTON ROAD, WHITCHURCH, CARDIFF, CF14 2AH	30	True	Permission be granted	16/10/2019
19/02469/DCH	10/09/2019	Smith	LOFT CONVERSION, HIP TO GABLE EXTENSION, TILED TO MATCH EXISTING ROOF, GABLE END RENDERED TO MATCH EXISTING ALSO. GABLE WINDOW OBSCURE GLASS, ONE VELUX TO FRONT ELEVATION, TWO VELUX TO THE REAR ELEVATION	58 HEOL Y GORS, WHITCHURCH, CARDIFF, CF14 1HH	29	True	Permission be granted	09/10/2019

19/02492/DCH	23/09/2019	Mr Langham	GROUND FLOOR REAR EXTENSION PLUS REAR HIP TO GABLE DORMER LOFT CONVERSION AND ALTERATIONS PLUS DETACHED GARAGE	23 WINGFIELD ROAD, WHITCHURCH, CARDIFF, CF14 1NJ	37	True	Permission be granted	30/10/2019
19/02542/DCH	18/09/2019	Ford	REVISED REAR ELEVATION - THE WIDTH AND POSITION OF THE WINDOW TO BEDROOM 1 VARIES FROM THAT INDICATED ON THE PREVIOUSLY APPROVED UNDER 18/00305/DCH	8 CASTELL COCH VIEW, TONGWYNLAIS, CARDIFF, CF15 7LA	37	True	Permission be granted	25/10/2019
19/02577/DCH	23/09/2019	Lowy	DEMOLITION OF EXISTING SINGLE STOREY REAR EXTENSION AND ERECTION OF PROPOSED SINGLE STOREY REAR EXTENSION WITH HIP TO GABLE LOFT CONVERSION WITH DORMER	10 GLAS CANOL, WHITCHURCH, CARDIFF, CF14 1LA	32	True	Permission be granted	25/10/2019
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19/01981/MNR	12/07/2019	Smith	PROPOSED CONSTRUCTION OF A DETACHED ONE BEDROOM DORMER BUNGALOW; TOGETHER WITH THE PROVISION AND INCORPORATION OF THE ASSOCIATED ON-SITE AMENITY, WASTE BIN AND CYCLE STORAGE SPACES AND FACILITIES	CHARWIN, HEOL Y GORS, WHITCHURCH, CARDIFF, CF14 1HE	81	False	Planning Permission be refused	01/10/2019
19/02279/MNR	19/08/2019	Woods	DISCHARGE OF CONDITION 12 OF 18/03021/MNR	THE BUNGALOW, LLANCAIACH ROAD, WHITCHURCH, CARDIFF, CF14 1PX	56	True	Full Discharge of Condition	14/10/2019

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